

DEFINITIVE SITE PLAN

FOR

54 MASON STREET & II PARKER STREET WORCESTER, MASSACHUSETTS 01610

RECORD APPLICANT:
DANIEL YARNIE
89 WEST MAIN STREET UNIT 101
NORTHBOROUGH, MA 01532

RECORD OWNER:
DANIEL YARNIE
89 WEST MAIN STREET UNIT 101
NORTHBOROUGH, MA 01532

LAND PLANNERS—CIVIL ENGINEERS:
J.M. GRENIER ASSOCIATES INC.
118 TURNPIKE ROAD SUITE 200
SOUTHBOROUGH, MA 01772
(508) 845-2500

LAND SURVEYORS:
GEO/NETWORK LAND SURVEY INC.
645 CHANDLER STREET SUITE 7
WORCESTER, MA 01610

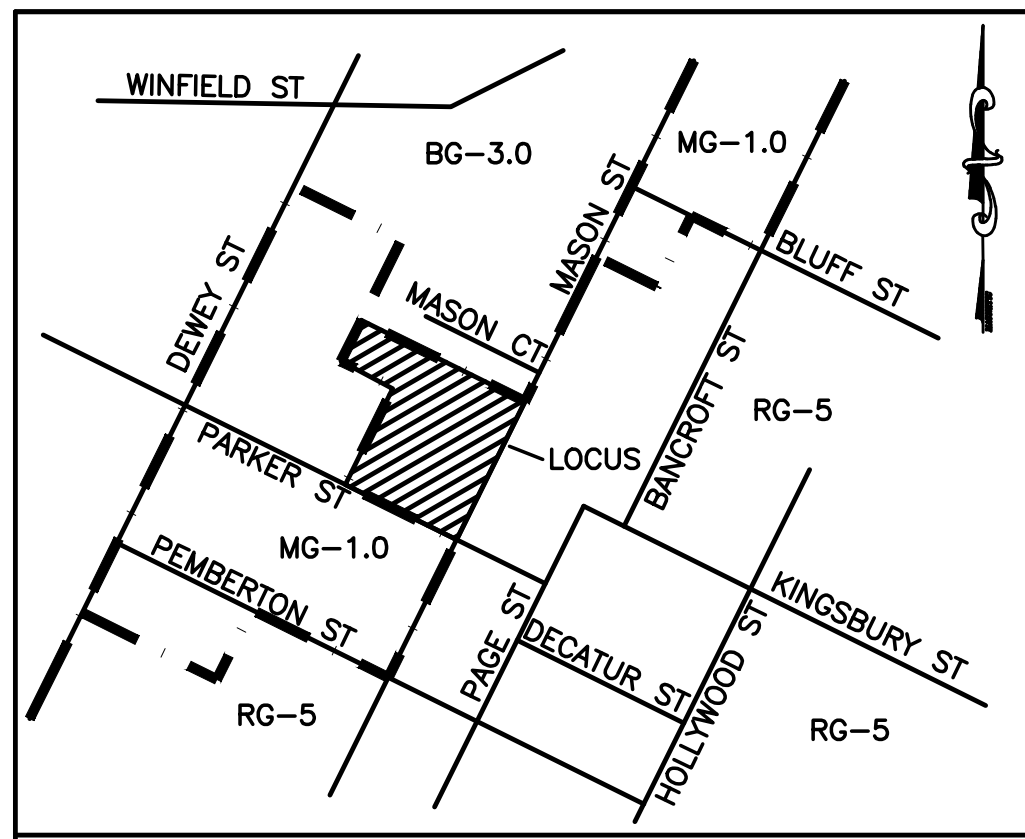
ZONING DISTRICT: RESIDENCE, GENERAL (RG-5)

INDEX DESCRIPTION	SHEET NUMBER
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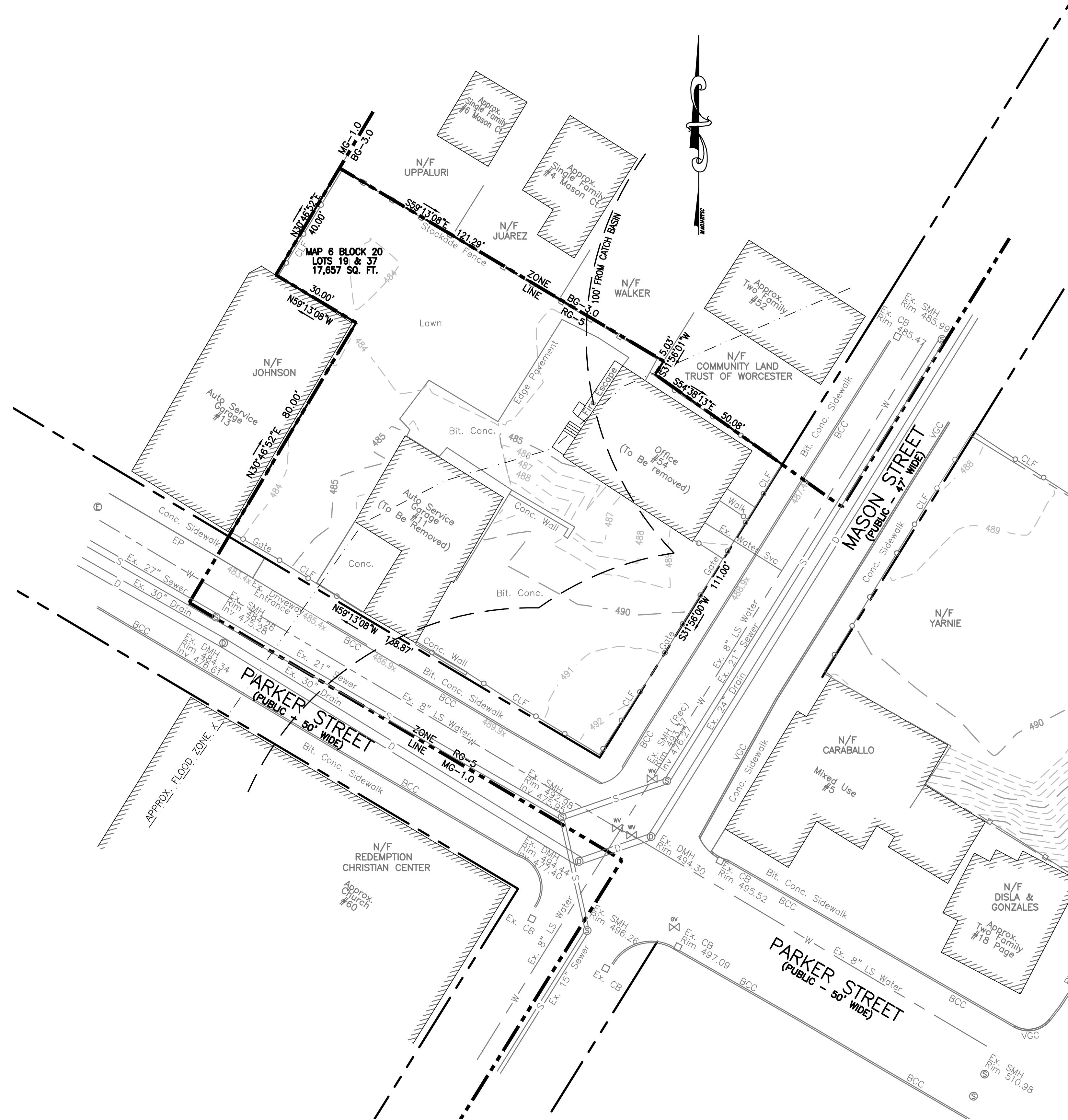


2/8/24

2	2/8/24	CITY COMMENTS
1	12/8/23	CITY COMMENTS
REV. NO.	DATE	REVISION
SCALE:		DATE:
AS SHOWN		NOVEMBER 27, 2023
COVER SHEET		
SHEET NO.:		PROJECT NO.:
SHEET 1 OF 9		G-679



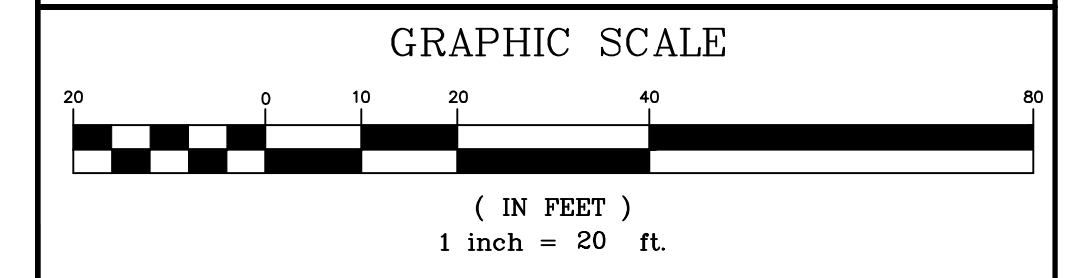
LOCUS: N.T.S.



LEGEND:

---	EXISTING PROPERTY LINE
- - - -	EXISTING CONTOUR - HIGH
- - - -	EXISTING CONTOUR - LOW
---	EXISTING EDGE PAVEMENT
---	EXISTING CURB
---	FLOOD PLAIN
---	CATCH BASIN BUFFER
D	EXISTING DRAIN LINE
W	EXISTING WATER LINE
S	EXISTING SEWER LINE

- NOTES:**
- EXISTING CONDITIONS SURVEY BY GEO/NETWORK LAND SURVEY INC. 645 CHANDLER STREET SUITE 7 WORCESTER, MA 01610.
 - REFERENCE CITY OF WORCESTER ASSESSOR'S MAP 6 BLOCK 20 LOTS 19 & 37.
 - REFERENCE WORCESTER REGISTRY OF DEEDS BOOK 68001 PAGE 336.
 - DATUM IS NAVD88.
 - APPROXIMATE FLOOD ZONE X LOCATION AS SHOWN ON FIRM MAP PANEL 25027C0614E FOR THE CITY OF WORCESTER MASSACHUSETTS, WORCESTER COUNTY, DATED JULY 4, 2011
 - EXISTING SOILS ON SITE ARE URBAN LAND.



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WORCESTER, MASSACHUSETTS 01610

PREPARED FOR:
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NORTHBOROUGH, MASSACHUSETTS 01532

PROPERTY OWNER:
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PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
118 TURNPIKE ROAD SUITE 200
SOUTHBOROUGH, MASSACHUSETTS 01772

TELE NO.: (508) 845-2500 **jmgreiner@townisp.com**
SCALE: 1" = 20' **DATE:** NOVEMBER 27, 2023

EXISTING CONDITIONS PLAN

SHEET NO.: SHEET 2 OF 9 **PROJECT NO.:** G-679

NOTE:
 1. WRTA ROUTES 6 & 7 ARE LOCATED WITHIN WALKING DISTANCE TO THE SUBJECT PROPERTY (AT CHANDLER/BANCROFT, MASON/MAY).

LEGEND:

---	EXISTING PROPERTY LINE
-485-	EXISTING CONTOUR - HIGH
-486-	EXISTING CONTOUR - LOW
-485-	PROPOSED CONTOUR - HIGH
-486-	PROPOSED CONTOUR - LOW
---	EXISTING EDGE PAVEMENT
---	EXISTING CURB
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED CURB
---	FLOOD PLAIN
---	CATCH BASIN BUFFER
---	EXISTING DRAIN LINE
---	PROPOSED DRAIN LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SEWER LINE
---	PROPOSED SEWER LINE
---	PROPOSED EROSION CONTROL

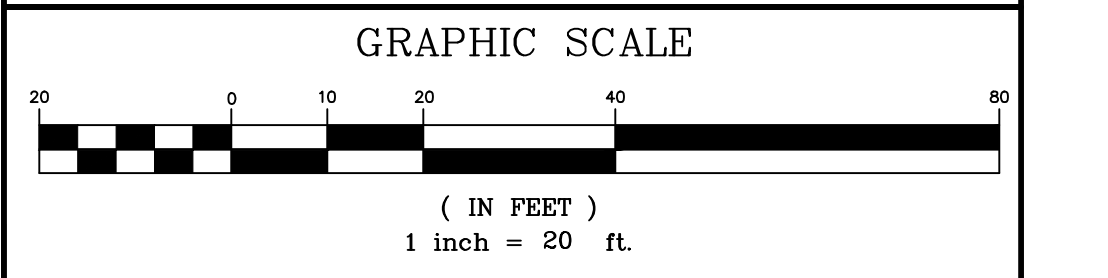
ZONING SUMMARY
 CURRENT ZONE: RESIDENCE, GENERAL (RG-5)

	REQUIRED MFD LOW RISE	PROPOSED MFD LOW RISE
MIN. LOT AREA	16,000 SQ.FT.**	17,657 SQ.FT.
LOT REGULARITY FACTOR*	0.4	0.085
MIN. FRONTAGE	125'	138.87'
MIN. FRONT YARD SETBACK	1.3'***	2.0'
MIN. EXTERIOR SIDE YARD SETBACK	10'	10.5'
MIN. SIDE YARD SETBACK	10'	48.4'
MIN. REAR YARD SETBACK	15'	32.7'
MAX. FRONT YARD IMPERVIOUS	50%	16.4%
MAX. BUILDING COVERAGE	--	32.7%
MAX. BUILDING HEIGHT	50' (3+ STORIES)	<50' (3+ STORIES)

* $R = 16 \cdot A / P^2$, WHERE A=AREA AND P=PERIMETER
 ** 5,000 SQ.FT./FIRST D.U. + (1,000 SQ.FT./D.U.) * 11 = 16,000 SQ.FT.
 *** ARTICLE IV, TABLE 4.2 NOTE 6

PARKING SPACE REQUIREMENTS

USE	REQUIRED	PROPOSED
MFD LOW RISE: 2/D.U. X 24 UNITS = 24 SPACES	24 SPACES	20 STANDARD 4 SMALL CAR (17%)



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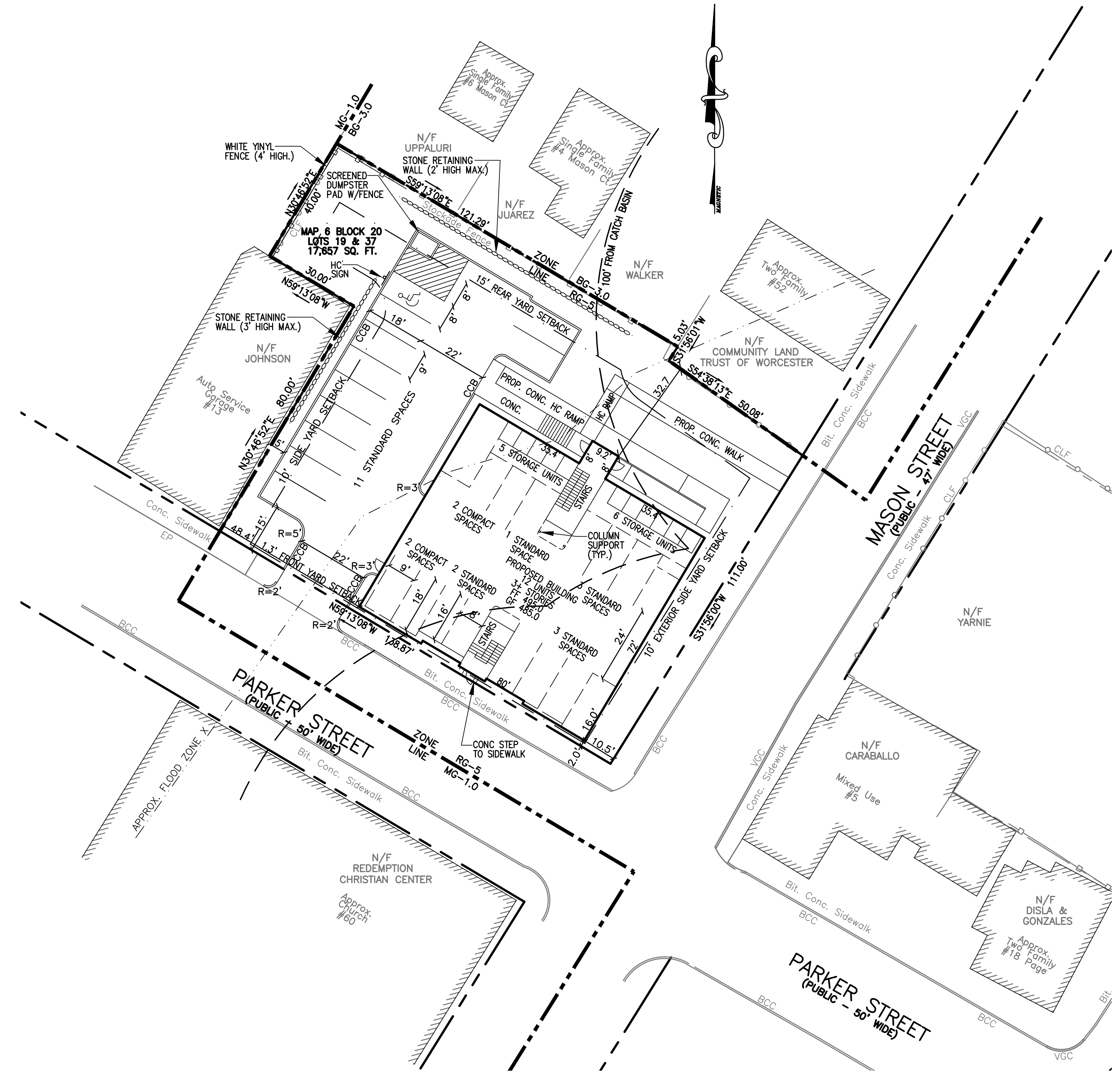
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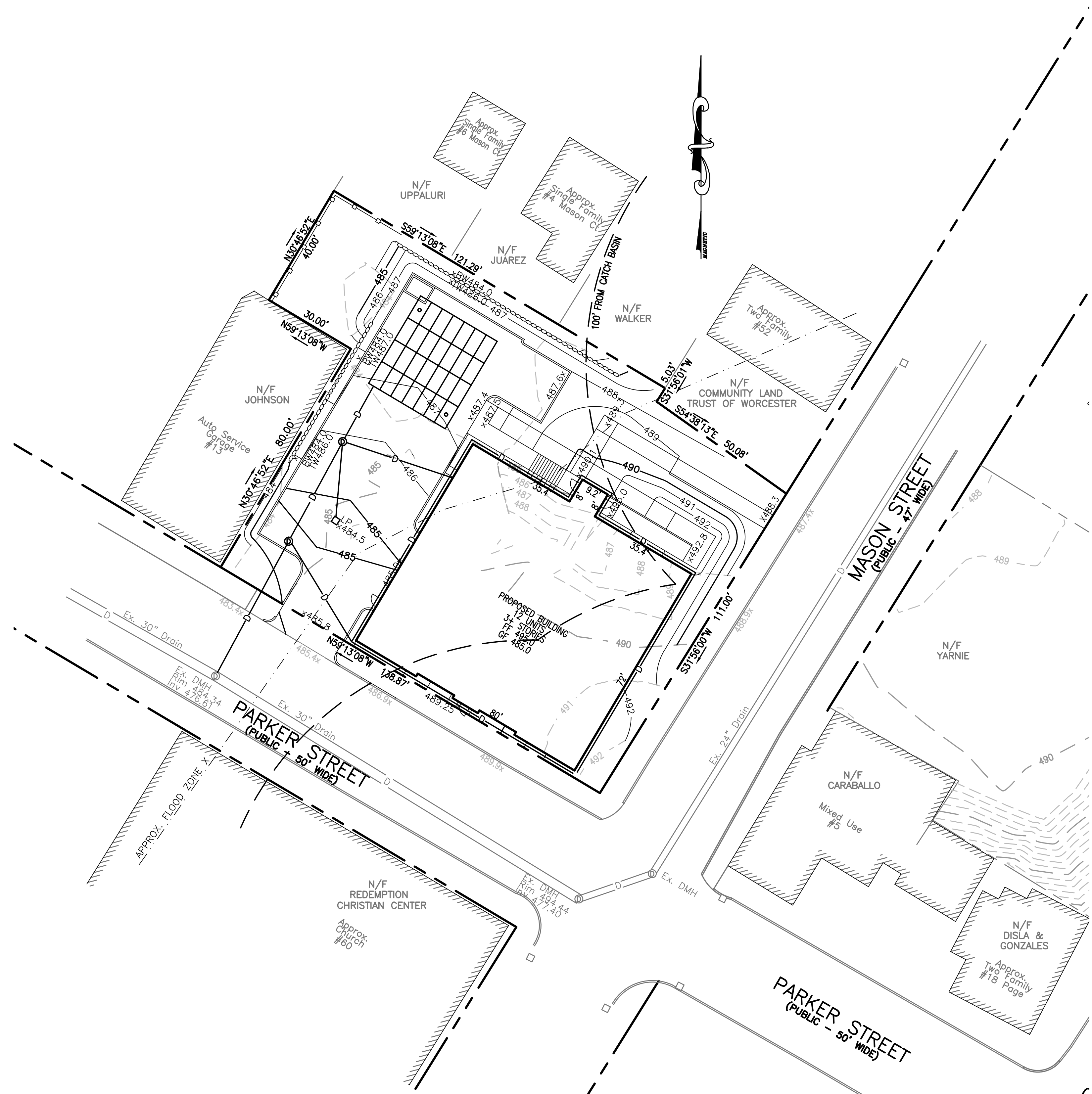
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LAYOUT PLAN

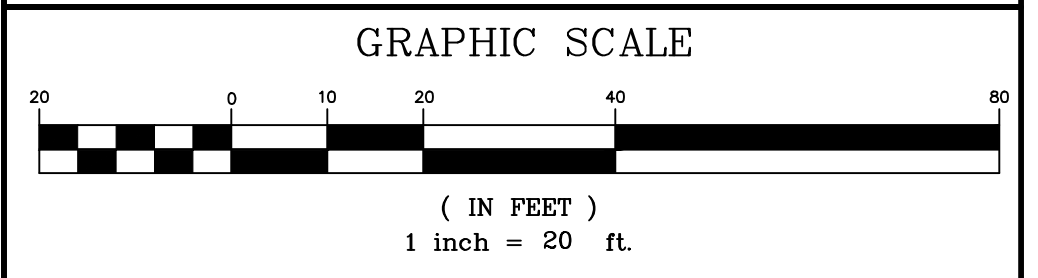
SHEET NO.: SHEET 3 OF 9 **PROJECT NO.:** G-679





LEGEND:

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-485-	EXISTING CONTOUR - HIGH
-486-	EXISTING CONTOUR - LOW
-485-	PROPOSED CONTOUR - HIGH
-486-	PROPOSED CONTOUR - LOW
---	EXISTING EDGE PAVEMENT
---	EXISTING CURB
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED CURB
---	FLOOD PLAIN
---	CATCH BASIN BUFFER
D	EXISTING DRAIN LINE
D	PROPOSED DRAIN LINE
-W-	EXISTING WATER LINE
-W-	PROPOSED WATER LINE
-S-	EXISTING SEWER LINE
-S-	PROPOSED SEWER LINE
---	PROPOSED EROSION CONTROL



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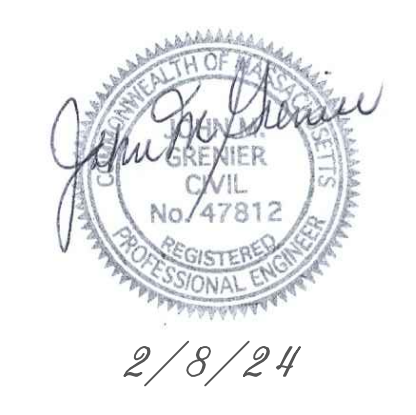
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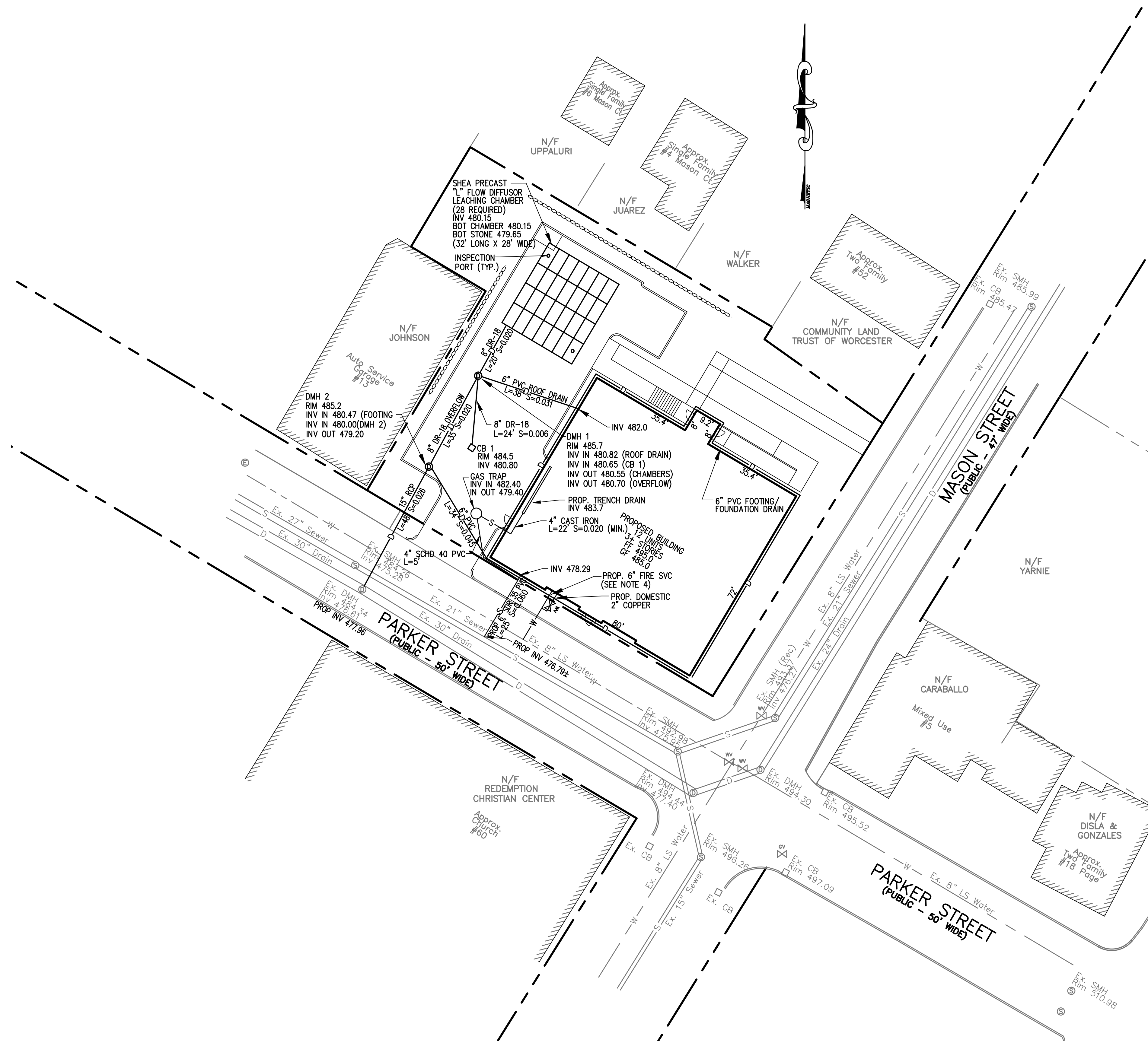
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GRADING AND DRAINAGE PLAN

SHEET NO.: SHEET 4 OF 9
PROJECT NO.: G-679

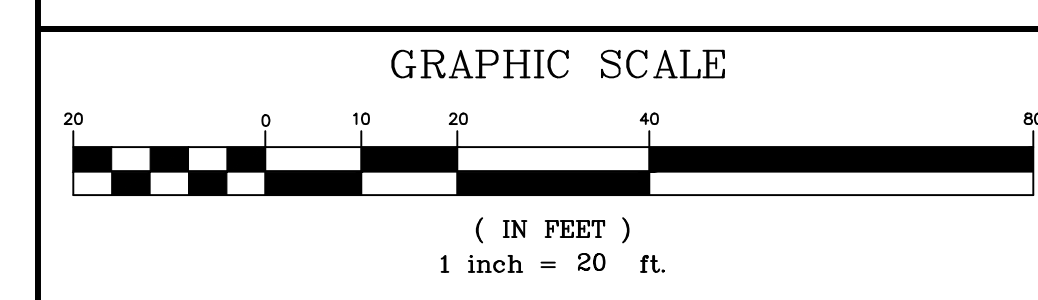




LEGEND:

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---	EXISTING CONTOUR - LOW
---	PROPOSED CONTOUR - HIGH
---	PROPOSED CONTOUR - LOW
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---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED CURB
---	FLOOD PLAIN
---	CATCH BASIN BUFFER
---	EXISTING DRAIN LINE
---	PROPOSED DRAIN LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SEWER LINE
---	PROPOSED SEWER LINE
---	PROPOSED EROSION CONTROL

- NOTES:**
- ALL TRENCHES WITHIN PARKER STREET AND MASON STREET SHALL BE BACKFILLED AS REQUIRED BY THE CITY OF WORCESTER.
 - WATER AND SEWER SERVICES TO EXISTING BUILDINGS AT 11 PARKER STREET AND 54 MASON STREET SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND SHALL BE OUT AND CAPPED AT THE MAIN.
 - EXISTING CATCH BASINS WITHIN 100' OF THE PROPERTY MUST BE PROTECTED WITH INLET PROTECTION AT ALL TIMES UNTIL THE SITE IS FULLY STABILIZED.
 - SEWER SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM ALL WATER SUPPLY LINES. WHEN A 10 FOOT SEPARATION CANNOT BE MAINTAINED THE WATER MAIN SHALL BE INSTALLED IN A SEPARATE TRENCH ABOVE THE SEWER WITH AN 18 INCH VERTICAL SEPARATION BETWEEN THE CROWN OF THE SEWER AND THE INVERT OF THE WATER MAIN. ADEQUATE VERTICAL SEPARATION OF WATER/SEWER CROSSING SHALL BE CONFIRMED.
 - SIZE OF FIRE SERVICE LINE TO BE DETERMINED BY FIRE FLOW REQUIREMENTS
 - DOMESTIC WATER LINE SHALL BE SLEEVED UNDER FOOTING WITH 2" MINIMUM DIAMETER CONDUIT.
 - CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION.
 - CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN, ENGINEER SHALL BE CONTACTED PRIOR TO COMMENCEMENT OF SITE CONSTRUCTION.



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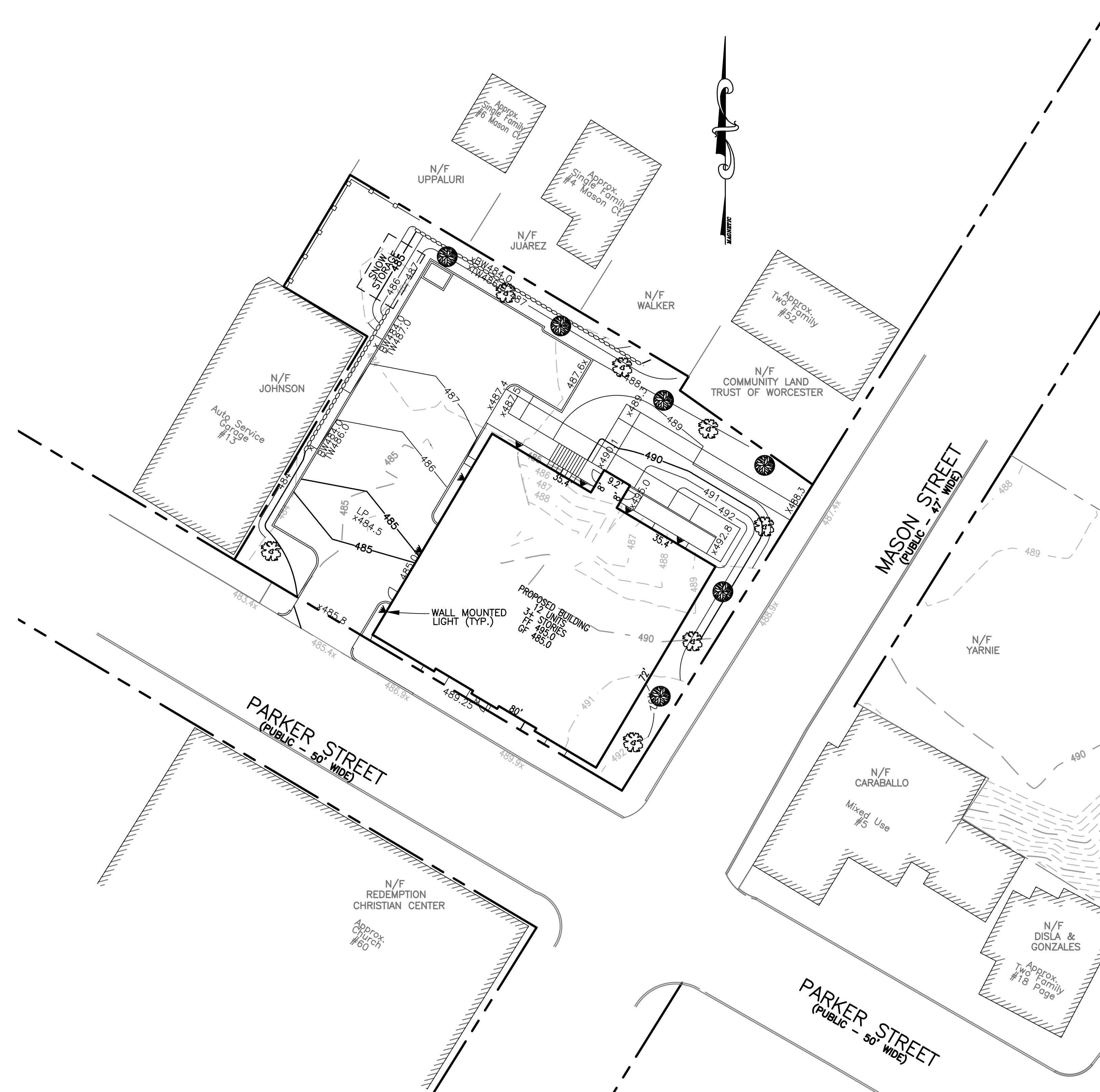
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UTILITY PLAN
SHEET NO.: SHEET 5 OF 9 **PROJECT NO.:** G-679





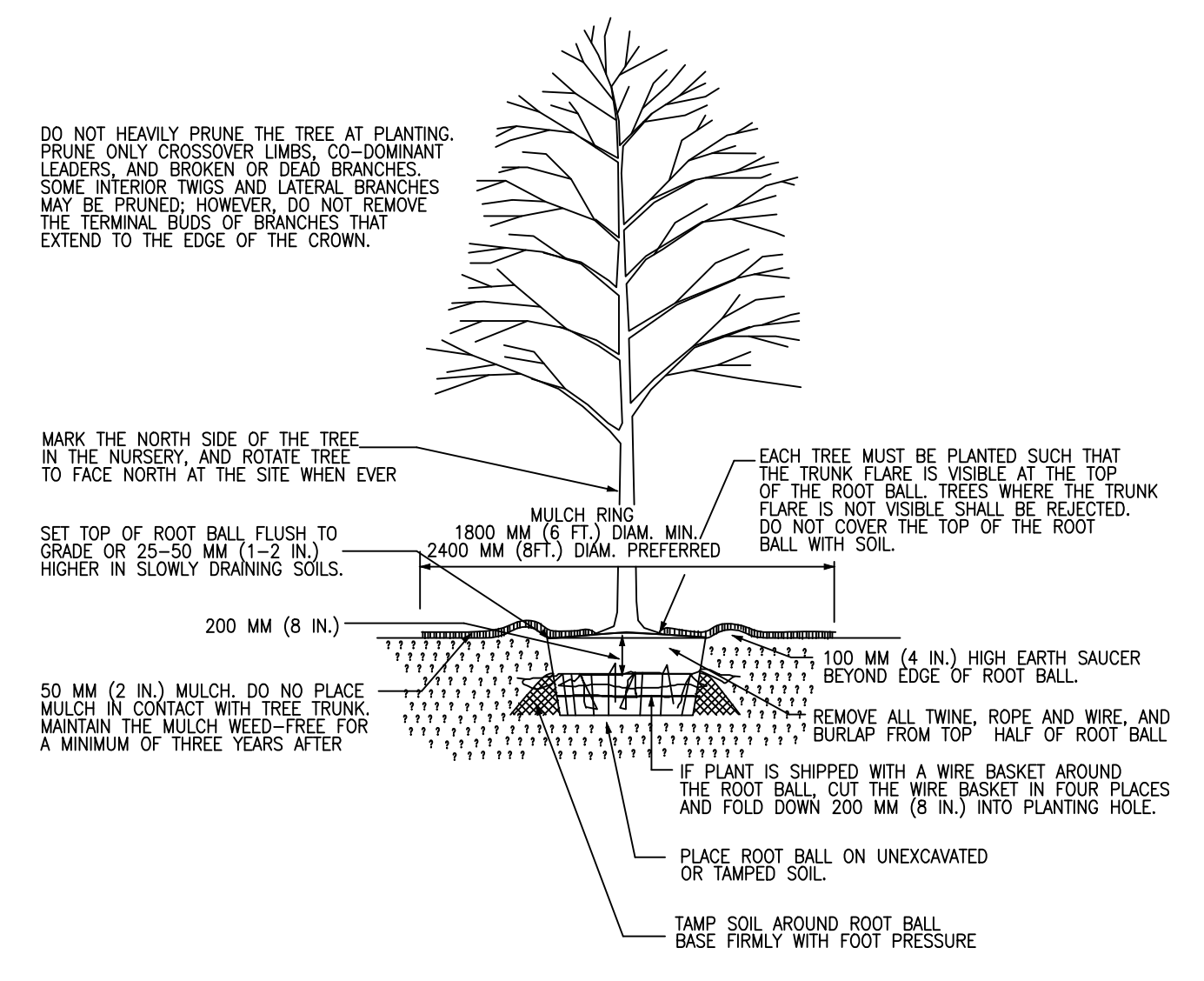
PLANT SCHEDULE

TYPE	KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	QTY
TREES		<i>Quercus palustris</i>	Pin Oak	3 1/2" cal.	B&B	7
		<i>Cornus kousa</i>	Kousa Dogwood	3 1/2" cal.	B&B	6

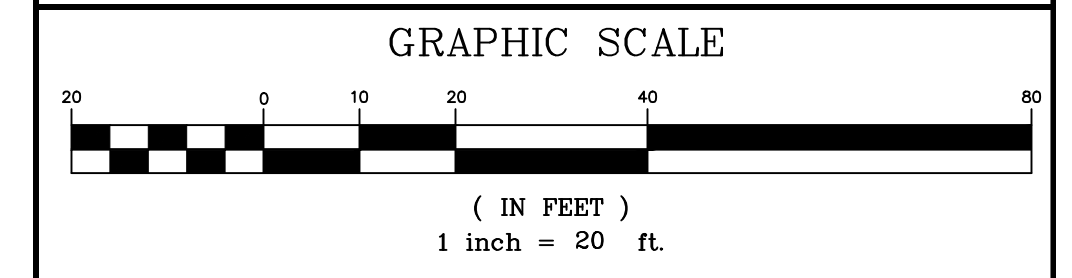
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- PROPOSED SEWER LINE
- PROPOSED EROSION CONTROL

- NOTES:**
- ALL PLANTINGS SHALL BE ASIAN LONGHORNED BEETLE (ALB) AND EMERALD ASH BORER RESISTANT.
 - SNOW STORAGE SHALL NOT BE LOCATED WITHIN ANY REQUIRED PARKING SPACES OR LANDSCAPED BUFFERS AND SHALL NOT IMPEDE VISIBILITY. ONCE DESIGNATED SNOW STORAGE AREAS EXCEED CAPACITY SNOW SHALL BE REMOVED FROM THE SITE.



TREE PLANTING DETAIL - B&B TREES
NOT TO SCALE



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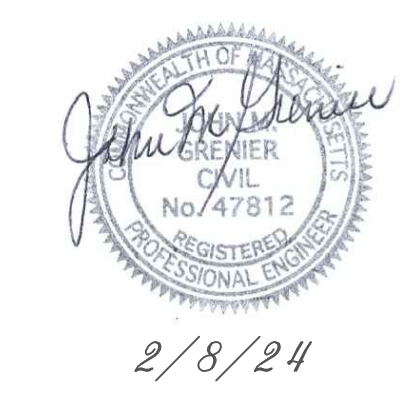
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LANDSCAPE PLAN

SHEET NO.: SHEET 6 OF 9
PROJECT NO.: G-679



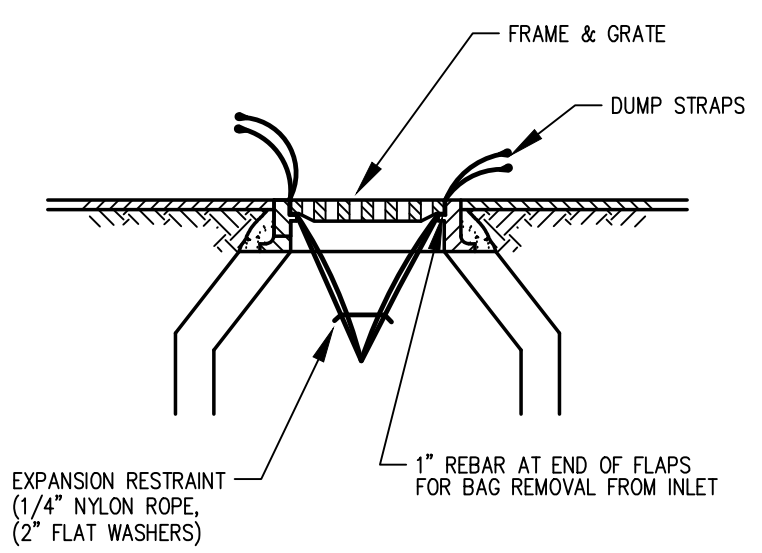
1. Seeding and repairs shall be performed as required. Sediment and debris shall be removed at least once a year, typically in early spring prior to the commencement of the growing season.

2. The catch basin shall be inspected annually. Unit shall be cleaned when accumulated sediments reach a depth of 6 inches. Accumulated sediment must be disposed of in accordance with applicable local state, and federal guidelines and regulations. The contractor will be responsible for the maintenance of the unit until such time as the site work is complete. The maintenance will then be the responsibility of the owner(s).

3. The infiltration chambers shall be inspected after every major storm for the first 3 months to ensure proper stabilization and function. The chambers shall be inspected once per year after that. Water levels should be inspected and recorded for several days after a major storm event to track infiltration capability.

4. The contractor will be responsible for the maintenance of all drainage structures and until such time as the site work is complete. The maintenance will then be the responsibility of the property owners.

**STORMWATER COLLECTION & TREATMENT SYSTEM
INSPECTION & MAINTENANCE GUIDELINES**

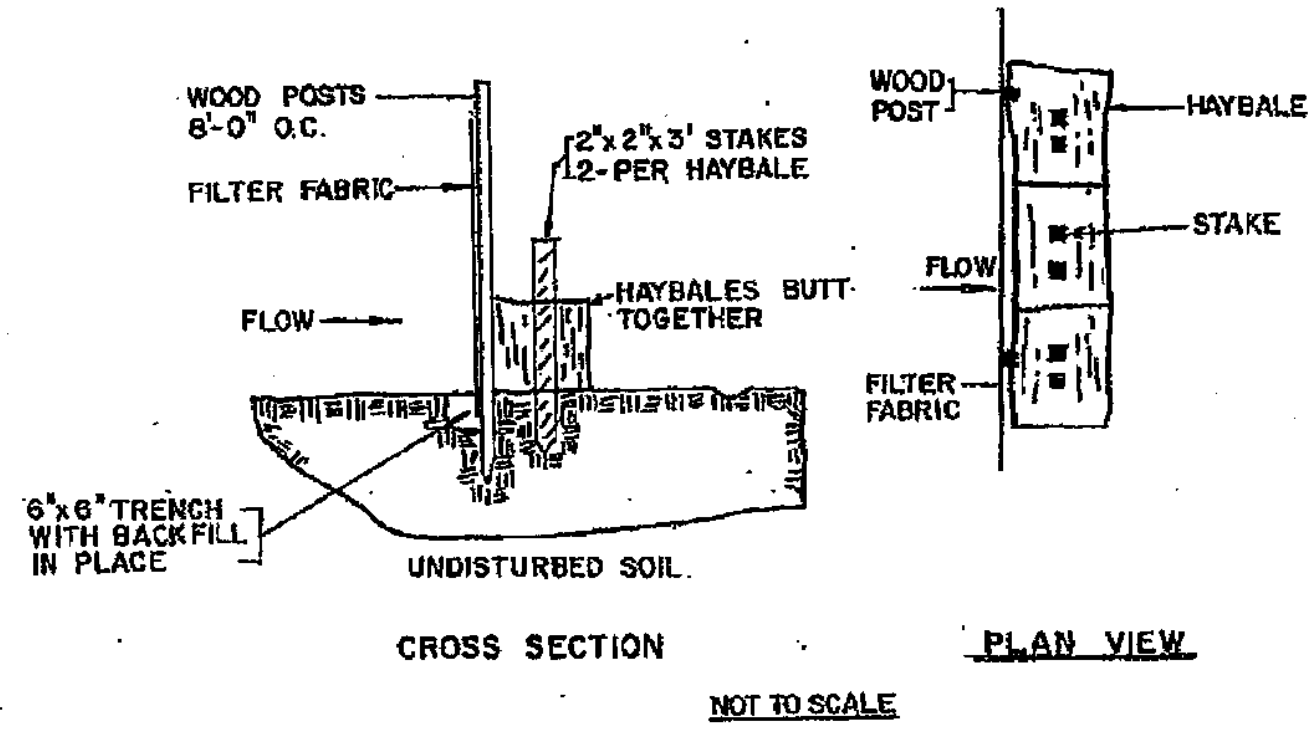


NOTE:
BAGS SHOULD BE CLEANED OUT AFTER EVERY RAIN EVENT AND/OR AS NEEDED.

SILT SACK DETAIL
NOT TO SCALE

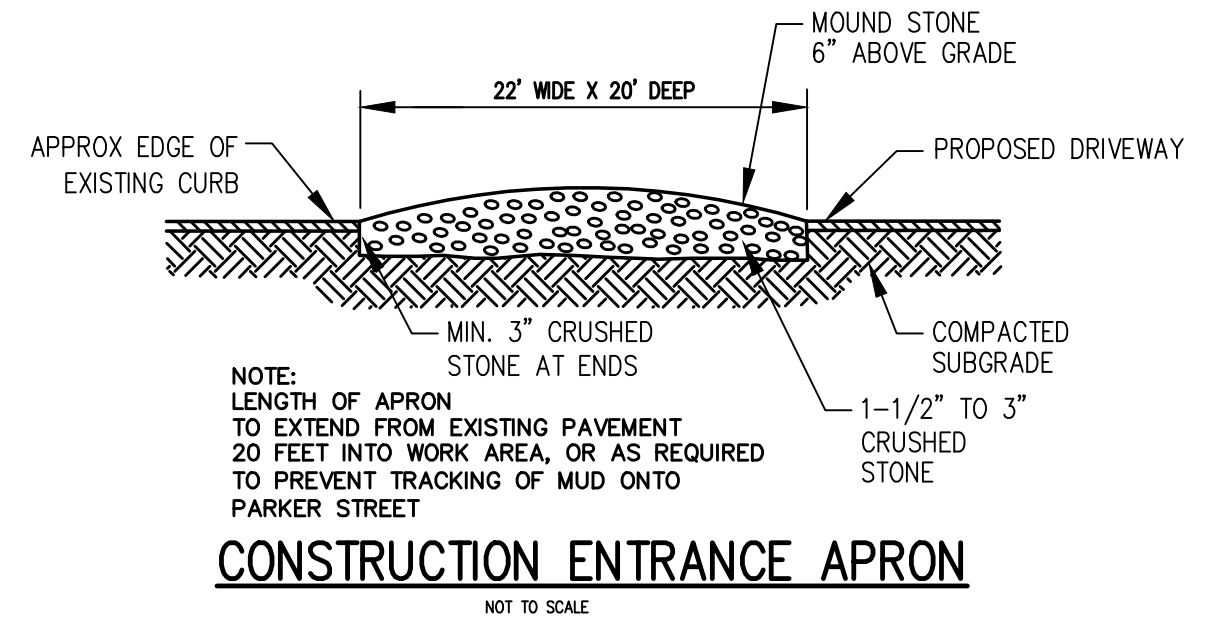
CONSTRUCTION SEQUENCING:

- SELECTIVELY CUT TREES AND CLEAR BRUSH TO BE CHIPPED AND HAULLED OFF SITE. NOTE THAT THE SITE IS IN THE ASIAN LONGHORNED BEETLE (ALB) REGULATED AREA.
 - STAKE LOCATION OF AND INSTALL EROSION CONTROL BARRIER, CONSTRUCTION ENTRANCE AS DELINEATED ON SITE PLAN.
 - DEMOLISH EXISTING BUILDINGS.
 - STRIP TOP AND SUBSOIL AS NECESSARY IN WORK AREA. STOCKPILE MATERIAL ON SOUTHERN PORTION OF LOT FOR BACKFILLING PURPOSES AT COMPLETION OF FOUNDATION CONSTRUCTION.
 - FORM AND POUR FOUNDATION FOR NEW BUILDING.
 - BACKFILL FOUNDATION AREAS AS NECESSARY
 - CONSTRUCT BUILDING
 - INSTALL RECHARGE CHAMBERS
 - CONSTRUCT DRIVEWAY AND LOAM AND SEED DISTURBED AREAS.
 - ALL EXCESS MATERIALS TO BE REMOVED FROM THE SITE AS SOON AS PRACTICAL
 - ALL GRADED AREAS TO BE LANDSCAPED, LOAMED AND SEED AS SOON AS PRACTICAL TO REDUCE ANY POTENTIAL EROSION.
- NOTE:** PROCESSES AS DESCRIBED ABOVE ARE ESTIMATED TO TAKE 9 MONTHS. WINTER CONDITIONS MAY AFFECT THIS SCHEDULE.



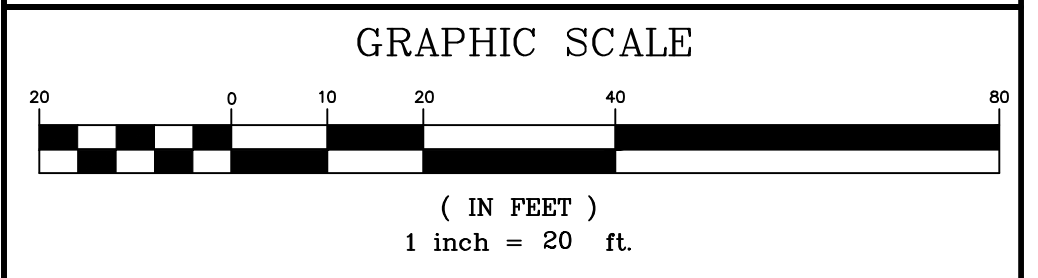
SILTATION CONTROL
NOT TO SCALE

- GENERAL:**
- THIS PLAN IS INTENDED TO PROVIDE GUIDANCE AND INSTRUCTION TO THE CITY OF WORCESTER AND THE CONTRACTOR(S) IN THE PREVENTION OF EROSION AND SEDIMENTATION OFF SITE. THIS PLAN IS INTENDED TO ALLOW ANY CONDITIONS OF APPROVAL TO BE MORE SPECIFIC IN ADDRESSING ITEMS OF CONCERN. IF CONDITIONS BY THE CITY OF WORCESTER ARE IN CONFLICT WITH REQUIREMENTS AS SPECIFIED ON THE PLANS CONDITIONS AS SPECIFIED BY THE CITY OF WORCESTER SHALL SUPERSEDE THE REQUIREMENTS SPECIFIED ON THESE PLANS.
- PRE-CONSTRUCTION:**
- AN EROSION CONTROL BARRIER (SEE BELOW) SHALL BE INSTALLED AS DEPICTED ON THE PLANS, BETWEEN THE AREAS TO BE DISTURBED AND RECEIVING DRAINAGE WAY AND STRUCTURES. THIS BARRIER SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED. THE EROSION CONTROL BARRIERS AS SHOWN ON THE PLANS ARE THE MINIMUM PROTECTIVE MEASURES REQUIRED TO PROTECT THE ON AND OFF SITE DRAINAGE SYSTEMS.
 - THE CONTRACTOR SHALL ESTABLISH A STAGING AREA AS SHOWN ON THE PLAN FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPILING OF MATERIALS.
 - IN THE STAGING AREA, THE CONTRACTOR SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO: HAY BALES, SILT FENCE AND CRUSHED STONE.
 - A TEMPORARY STONE CONSTRUCTION ENTRANCE IS REQUIRED TO PREVENT TRACKING OF SILT, MUD, ETC. ONTO EXISTING ROADS. THE STONE SHALL BE REPLACED REGULARLY AS WELL AS WHEN THE STONE IS SILT LOADED OR EQUIPMENT IS OBSERVED TO BE TRACKING SOIL ONTO THE ROADWAYS. SEE GENERAL CONSTRUCTION REQUIREMENTS, SEE NOTE #4 BELOW.
 - THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON & OFF SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN, ON THE PLAN OR IN ANY ORDER OF CONDITIONS.
- PRELIMINARY SITE WORK:**
- MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE OR IN A SECURED OFF SITE AREA APPROVED BY THE OWNER. EROSION CONTROLS SHALL BE UTILIZED ALONG THE DOWN SLOPE OF THE PILES IF THE PILES ARE TO REMAIN FOR MORE THAN THREE WEEKS.
 - IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL HAY BALE DIKES, SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.
 - IF THE SITE CONSTRUCTION OCCURS AT ANY TIME OTHER THAN THE APRIL - DECEMBER CONSTRUCTION SEASON, ALL DRAINAGE SYSTEMS TEMPORARY OR PERMANENT SHALL MAINTAIN TO ENSURE ADEQUATE HYDRAULIC CAPACITY, AND DRAINING CHARACTERISTICS.
- EROSION CONTROL MEASURES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT EROSION AND SEDIMENTATION ARE CONTROLLED. THIS PLAN SHALL BE ADAPTED TO FIT THE CONTRACTOR'S EQUIPMENT, WEATHER CONDITIONS, AND ANY CONDITIONS ISSUED BY THE CITY OF WORCESTER
 - THE MOST IMPORTANT ASPECTS OF CONTROLLING EROSION AND SEDIMENTATION ARE LIMITING THE EXTENT OF DISTURBANCE AND STABILIZING SURFACES AS SOON AS POSSIBLE. OF SECONDARY IMPORTANCE IN EROSION CONTROL IS THE LIMITING THE SIZE AND LENGTH OF THE TRIBUTARY DRAINAGE AREA WITHIN THE WORK SITE AND DRAINAGE STRUCTURES. THESE FUNDAMENTAL PRINCIPLES SHALL BE THE KEY FACTOR IN THE CONTRACTOR'S CONTROL OF EROSION ON THE SITE.
 - THE EXISTING SOIL CONDITIONS PROVIDE THE POTENTIAL OF RUNOFF TO OFF-SITE AREAS WITH EROSION POTENTIAL.
 - ALL DISTURBED SURFACES SHALL BE STABILIZED A MINIMUM OF 14 DAYS AFTER CONSTRUCTION IN ANY PORTION OF THE SITE HAS CEASED OR IS TEMPORARILY HALTED UNLESS ADDITIONAL CONSTRUCTION IS INTENDED TO BE INITIATED WITHIN 21 DAYS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION CONTROL DEVICES WITHIN THE LIMIT OF WORK. ALL EROSION CONTROL DEVICES SHALL BE REGULARLY INSPECTED. ANY SEDIMENTS REMOVED FROM THE CONTROL DEVICES SHALL BE DISPOSED OF.
 - AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER SENSITIVE AREAS (WETLANDS, OFF-SITE AREAS AND DRAINAGE SYSTEMS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.
- GENERAL CONSTRUCTION REQUIREMENTS:**
- ANY REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT TAKE PLACE INSIDE OF A 100 FOOT BUFFER ZONE, NEAR THE ENTRANCE TO ANY DRAINAGE SYSTEM AND SHALL NOT BE CONDUCTED IN PROXIMITY TO SEDIMENTATION BASINS.
 - NO ON-SITE DISPOSAL OF STUMPS, SOLID WASTE, INCLUDING CONSTRUCTION MATERIALS IS ALLOWED.
 - NO MATERIALS SHALL BE DISPOSED OF INTO THE WETLANDS, OR EXISTING/PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS INCLUDING: CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO THE SITE DRAINAGE SYSTEMS.
 - THE CONTRACTOR SHALL UNDERTAKE ALL WORK TO LIMIT AIRBORNE SEDIMENTS, ONLY CLEAN, POTABLE WATER MAY BE USED TO CONTROL DUST.
- LANDSCAPING:**
- LANDSCAPING SHALL OCCUR AS SOON AS POSSIBLE TO PROVIDE PERMANENT STABILIZATION OF DISTURBED SURFACES.
 - CONTRACTOR SHALL UTILIZE A VARIETY OF SLOPE STABILIZATION METHODS AND MATERIALS WHICH SHALL BE ADJUSTED TO THE SITE CONDITIONS. EROSION CONTROL BLANKETS OR MIRAFI MIRAMAT (OR SIMILAR PRODUCTS) SHALL BE AVAILABLE ON SITE.
 - IF THE SEASON OR ADVERSE WEATHER CONDITIONS DO NOT ALLOW THE ESTABLISHMENT OF VEGETATION, TEMPORARY MULCHING WITH HAY, TACKIFIED WOOD CHIPS OR OTHER METHODS SHALL BE PROVIDED.
 - ALL DISTURBED SURFACES TO BE PLANTED SHALL RECEIVE A MINIMUM OF 6" TOPSOIL SHALL BE PLACED AND ITS SURFACE SMOOTHED TO THE SPECIFIED GRADES.
 - ALL SLOPES OF 2.5:1 OR GREATER SHALL BE STABILIZED WITH EROSION CONTROL FABRIC.
 - TO ENSURE A DENSE, SUCCESSION GROWTH, SEED IS REQUIRED ON ALL DISTURBED SURFACES.



CONSTRUCTION ENTRANCE APRON
NOT TO SCALE

- LEGEND:**
- EXISTING PROPERTY LINE
 - 485 EXISTING CONTOUR - HIGH
 - 486 EXISTING CONTOUR - LOW
 - 485 PROPOSED CONTOUR - HIGH
 - 486 PROPOSED CONTOUR - LOW
 - EXISTING EDGE PAVEMENT
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED CURB
 - FLOOD PLAIN
 - CATCH BASIN BUFFER
 - EXISTING DRAIN LINE
 - D PROPOSED DRAIN LINE
 - EXISTING WATER LINE
 - W PROPOSED WATER LINE
 - EXISTING SEWER LINE
 - S PROPOSED SEWER LINE
 - PROPOSED EROSION CONTROL



REV. NO.	DATE	REVISION
2	2/8/24	CITY COMMENTS
1	12/8/23	CITY COMMENTS

TITLE:

**DEFINITIVE SITE PLAN
FOR
54 MASON STREET & 11 PARKER STREET
WORCESTER, MASSACHUSETTS 01610**

PREPARED FOR:

**DANIEL YARNIE
89 WEST MAIN STREET UNIT 101
NORTHBOROUGH, MASSACHUSETTS 01532**

PROPERTY OWNER:

**DANIEL YARNIE
89 WEST MAIN STREET UNIT 101
NORTHBOROUGH, MASSACHUSETTS 01532**

PREPARED BY:

**J.M. GRENIER ASSOCIATES INC.
118 TURNPIKE ROAD SUITE 200
SOUTHBOROUGH, MASSACHUSETTS 01772**

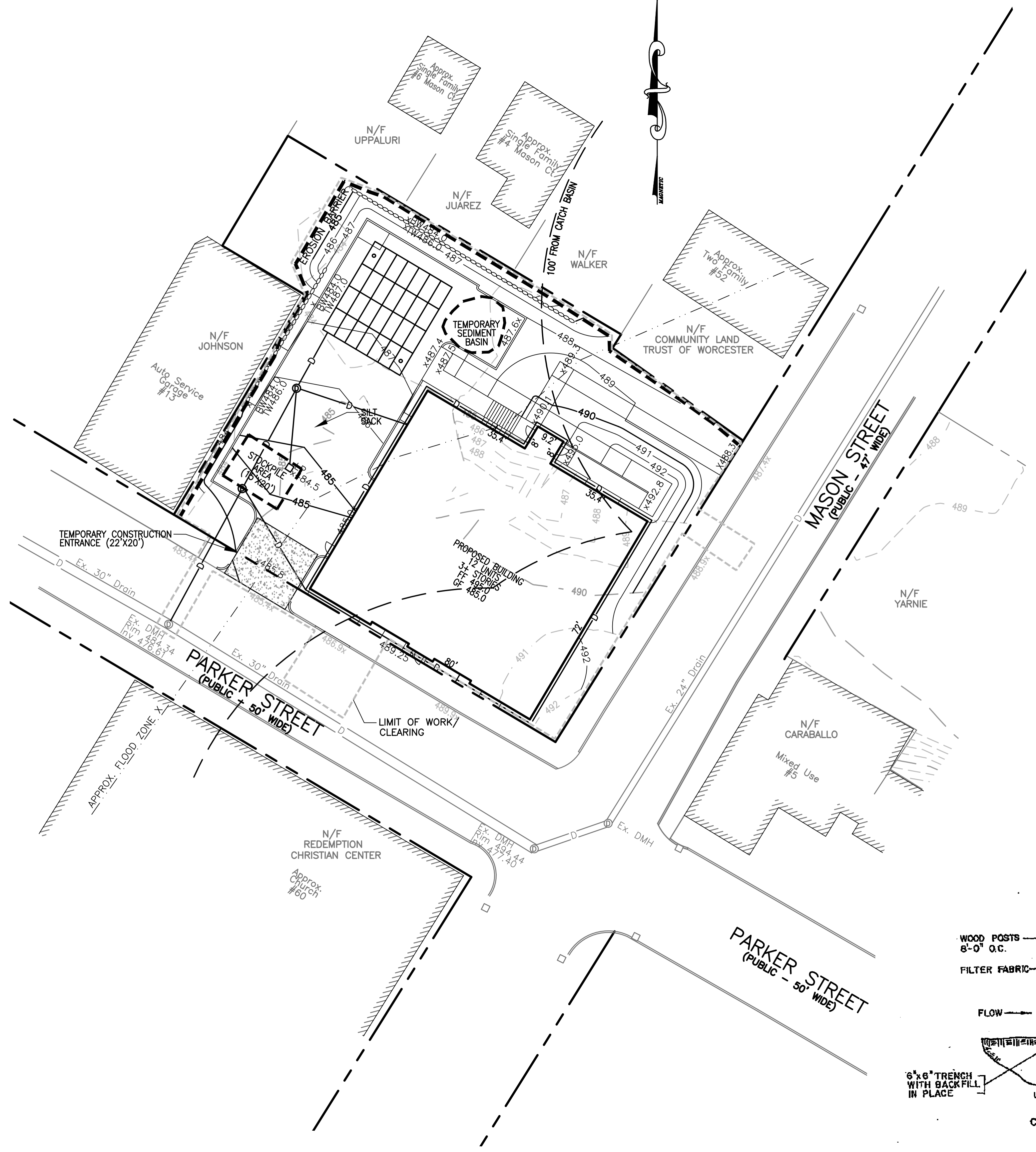
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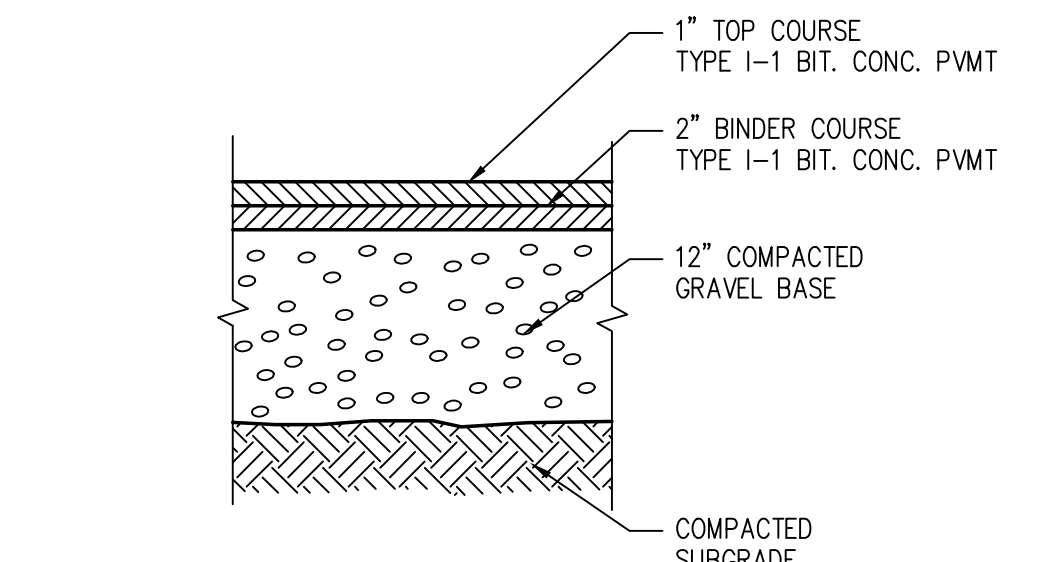
DATE: NOVEMBER 27, 2023

EROSION & SEDIMENTATION CONTROL PLAN

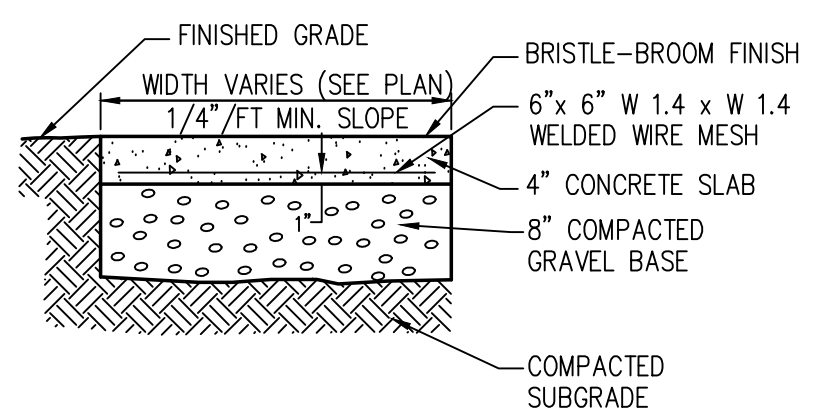
SHEET NO.: SHEET 7 OF 9

PROJECT NO.: G-679

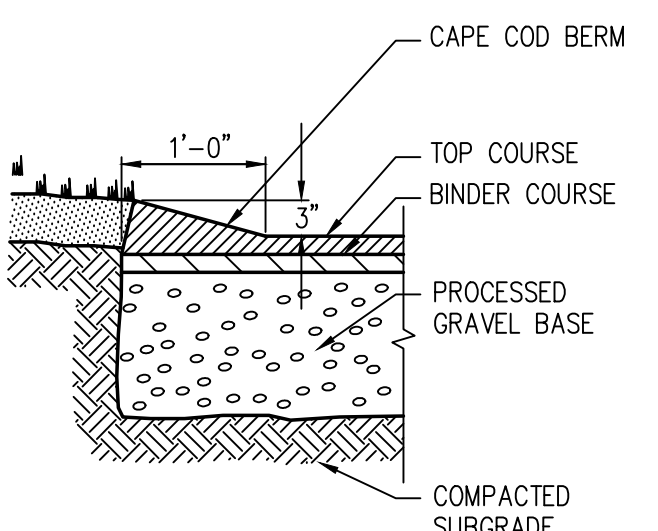




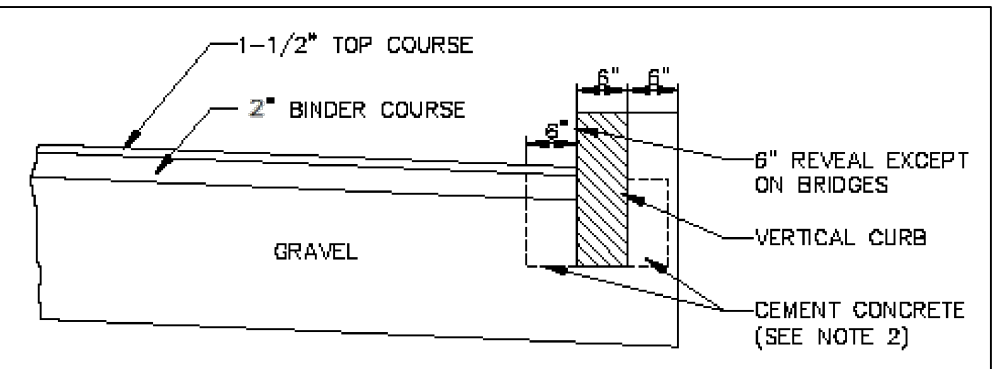
STANDARD BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



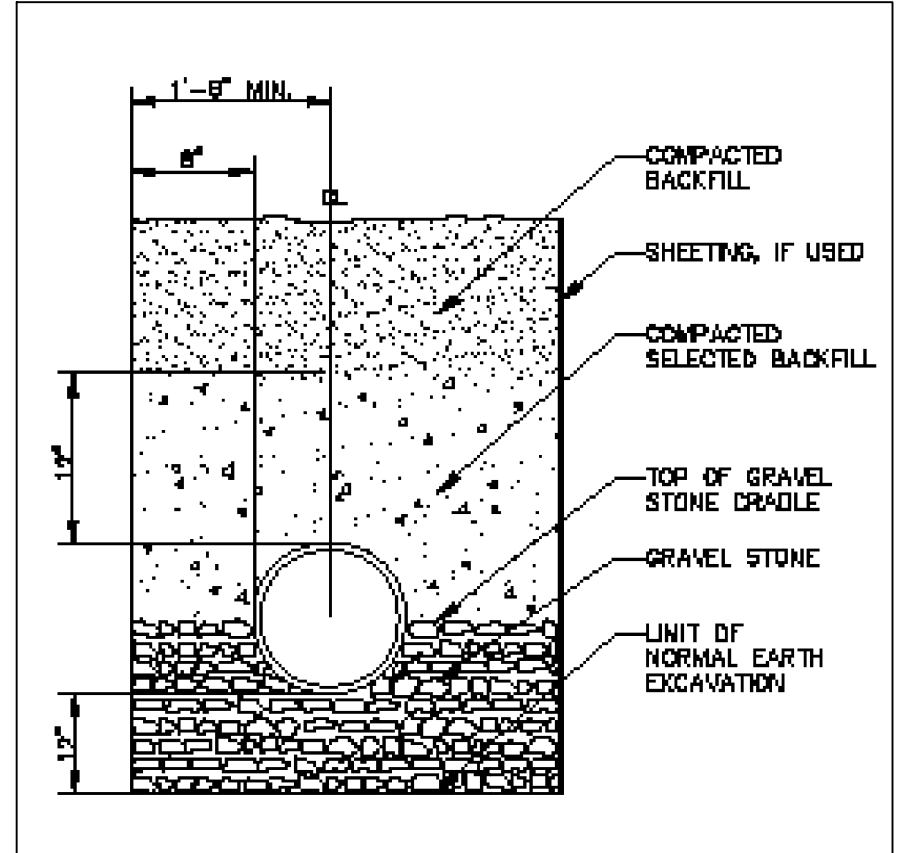
CEMENT CONCRETE PAD/WALK
NOT TO SCALE



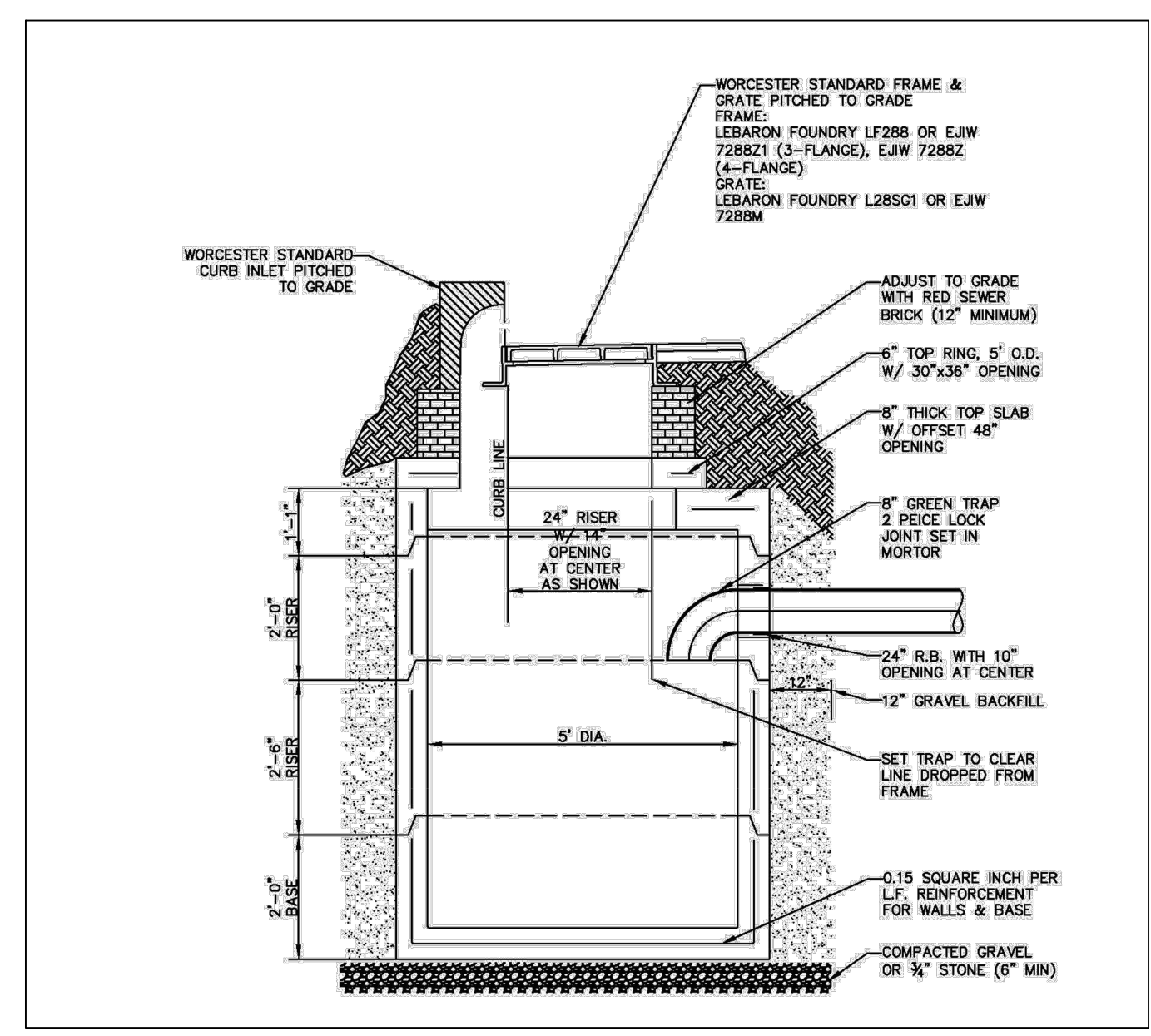
CAPE COD BERM
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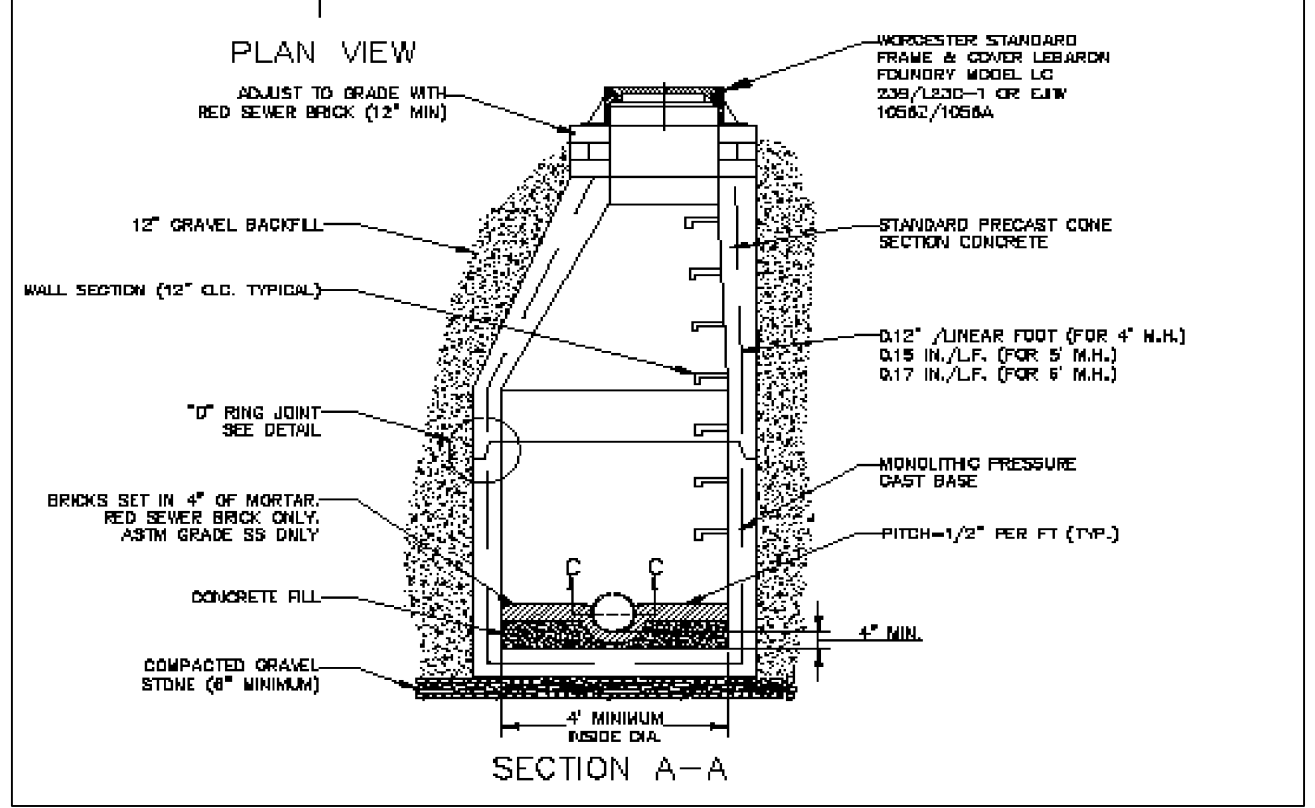
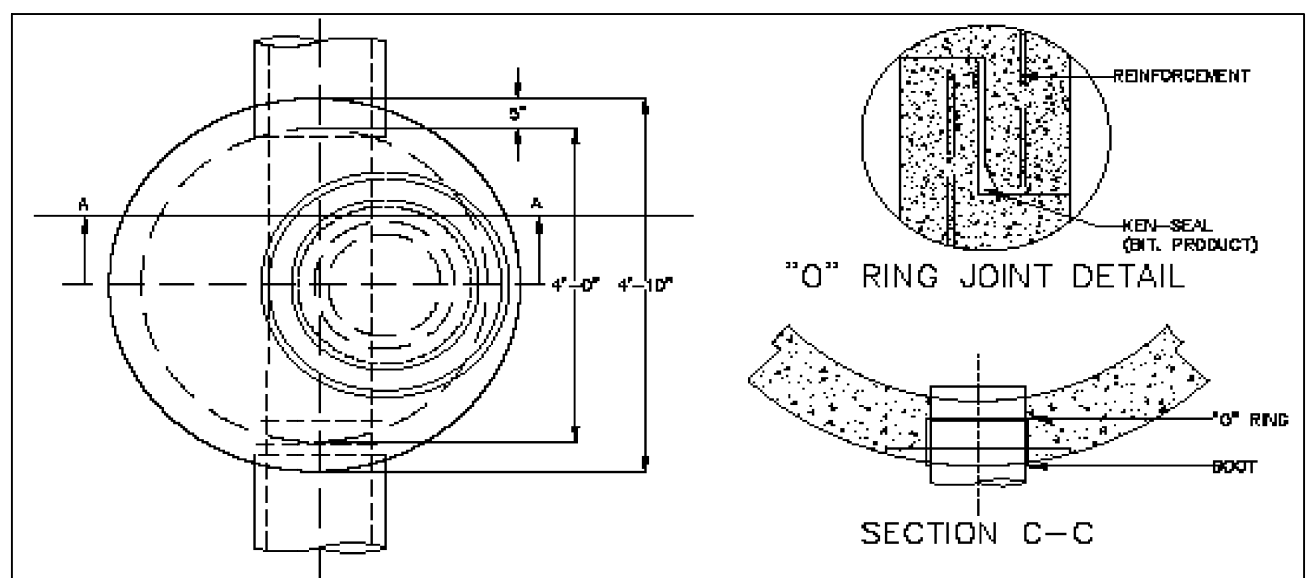
VERTICAL GRANITE CURB DETAIL
NOT TO SCALE



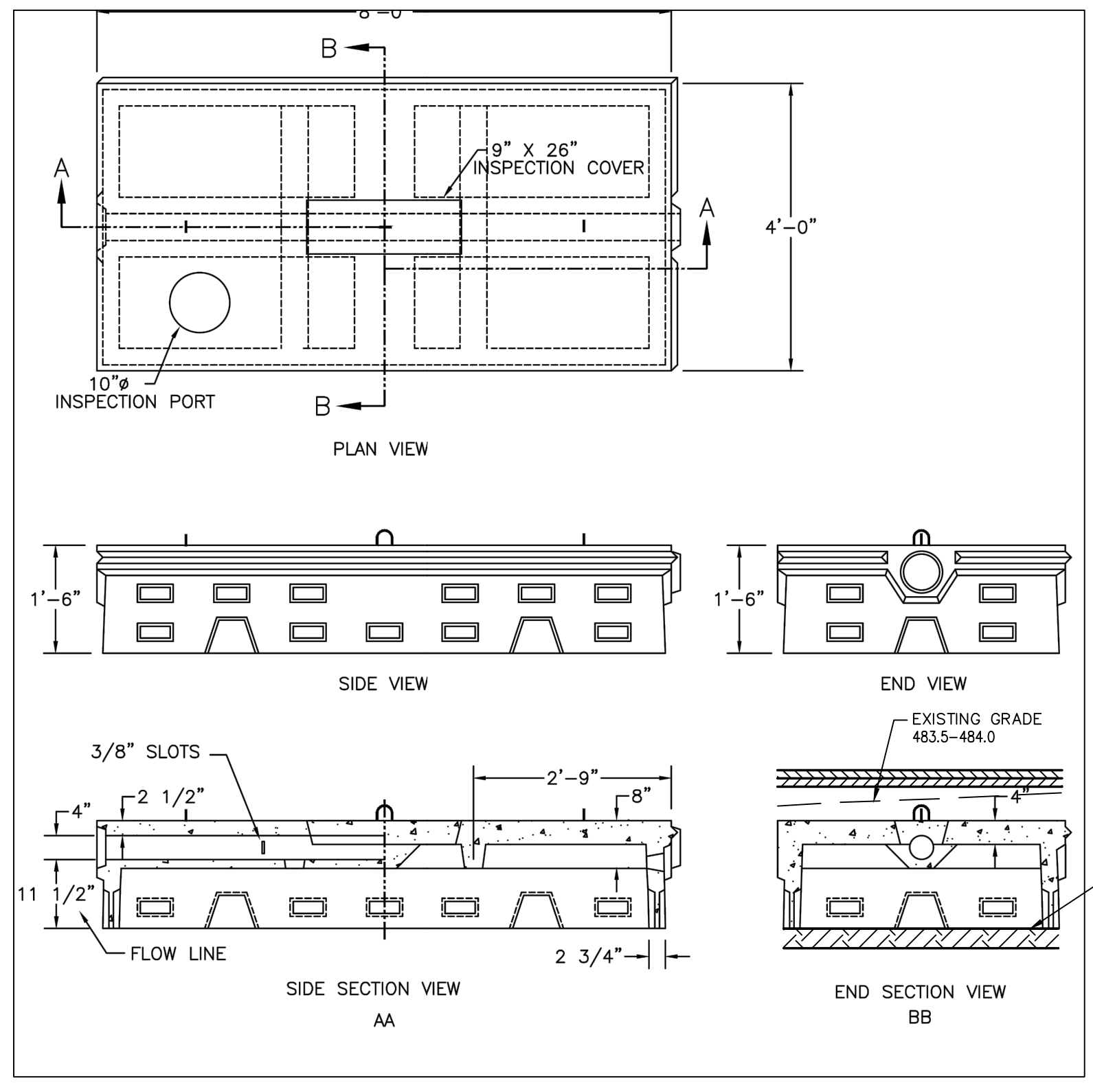
DRAIN TRENCH DETAIL
NOT TO SCALE



CATCH BASIN DETAIL
NOT TO SCALE



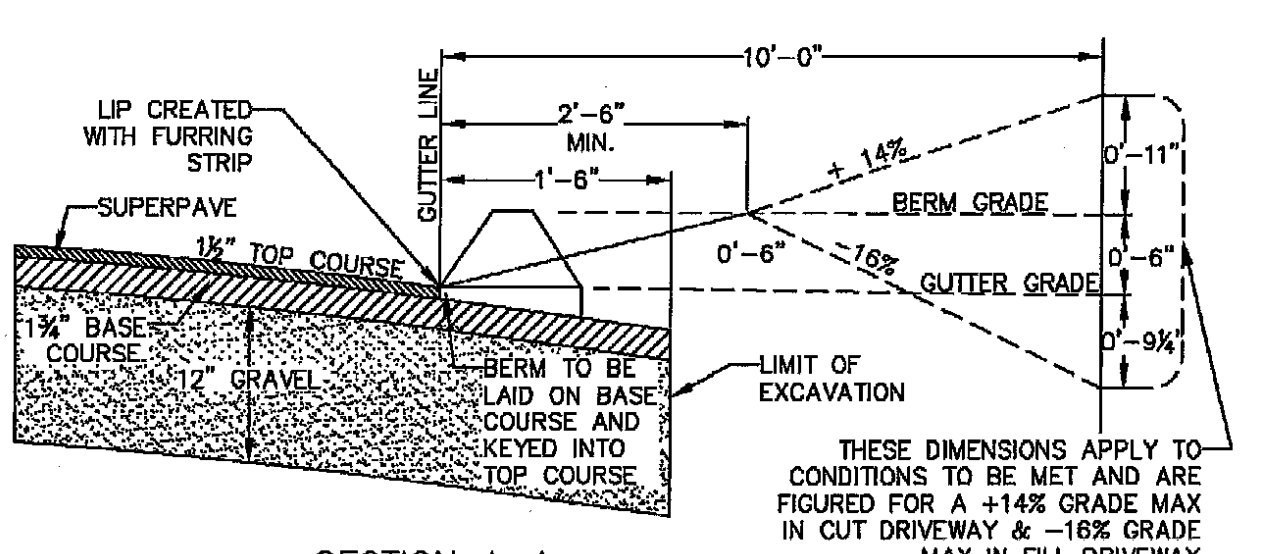
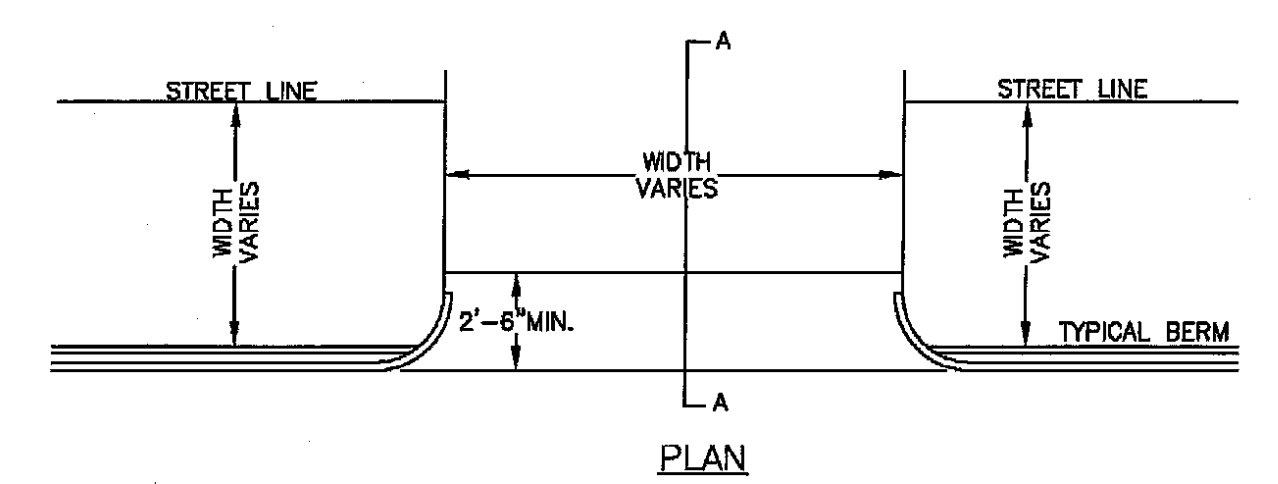
DRAIN MANHOLE DETAIL



RECHARGE CHAMBER
NOT TO SCALE

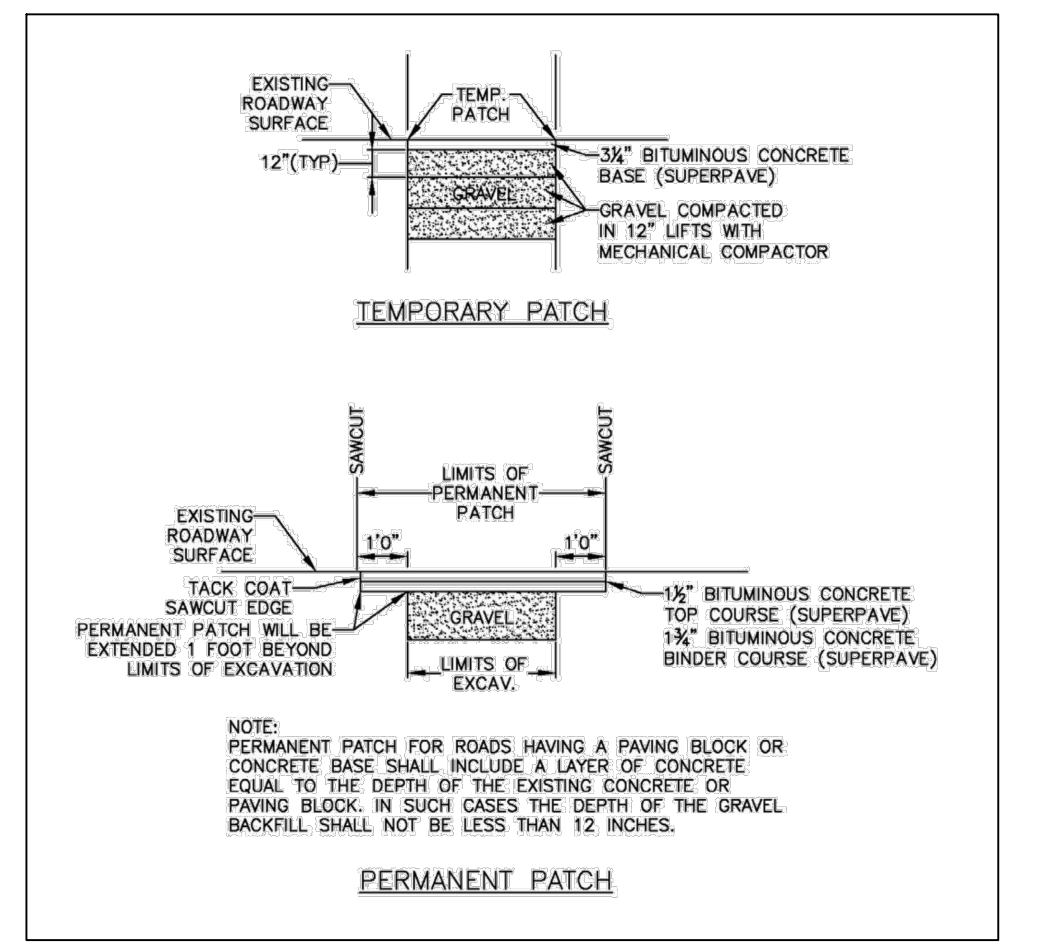
1. CHAMBER SHALL BE SHEA PRECAST "L" FLOW DIFFUSOR LEACHING CHAMBER OF APPROVED EQUAL.
2. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS
3. REINFORCED STEEL CONFORMS TO LATEST ASTM SPEC.
4. DESIGNED FOR AASHTO HS-20 LOADING 1 TO 5 FEET COVER.

- CHAMBER ELEVATIONS
- EL=486.6-487.5
 - EL=481.65
 - 3/4 - 2 INCH CLEAN, CRUSHED, ANGULAR STONE
 - EL=480.15
 - EL=479.65



SECTION A-A
NOT TO SCALE

DRIVEWAY DETAIL
NOT TO SCALE



PAVEMENT REPAIR
NOT TO SCALE

REV. NO.	DATE	REVISION
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TITLE:
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WORCESTER, MASSACHUSETTS 01610

PREPARED FOR:
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NORTHBOROUGH, MASSACHUSETTS 01532

PROPERTY OWNER:
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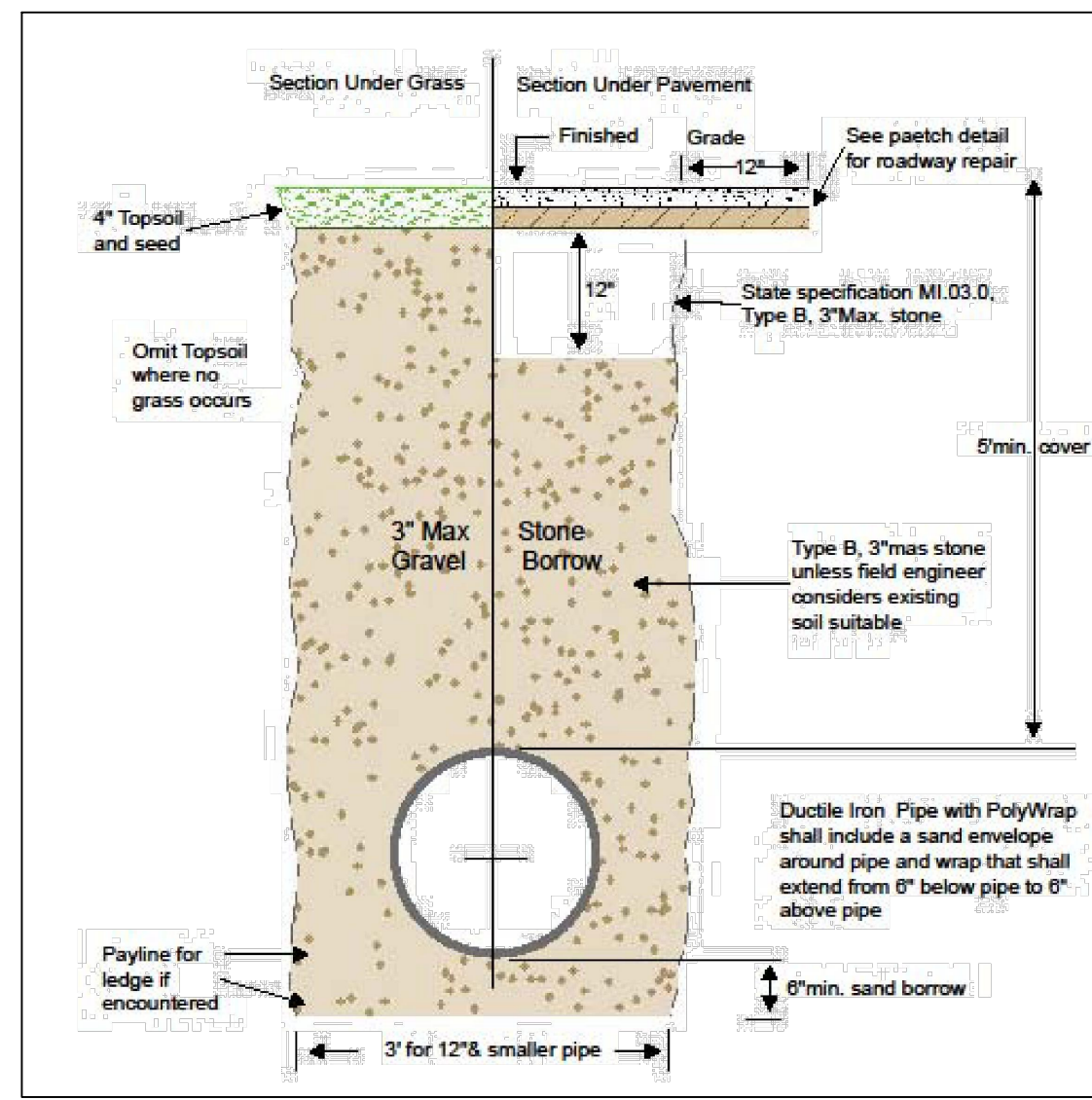
PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
118 TURNPIKE ROAD SUITE 200
SOUTHBOROUGH, MASSACHUSETTS 01772

TELE NO.: (508) 845-2500 jmgrenier@townisp.com
SCALE: AS SHOWN DATE: NOVEMBER 27, 2023

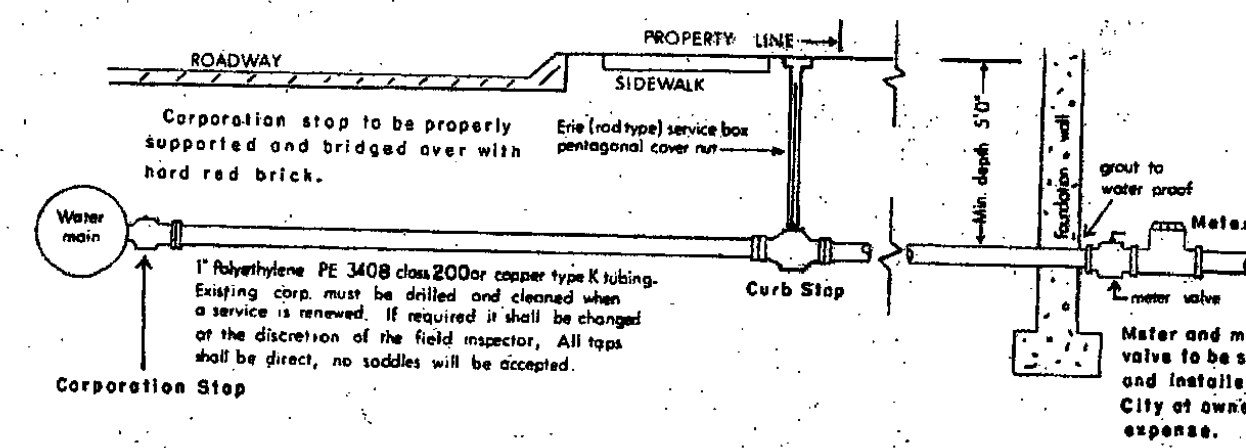
DETAIL PLAN 1/2

SHEET NO.: SHEET 8 OF 9 PROJECT NO.: G-679





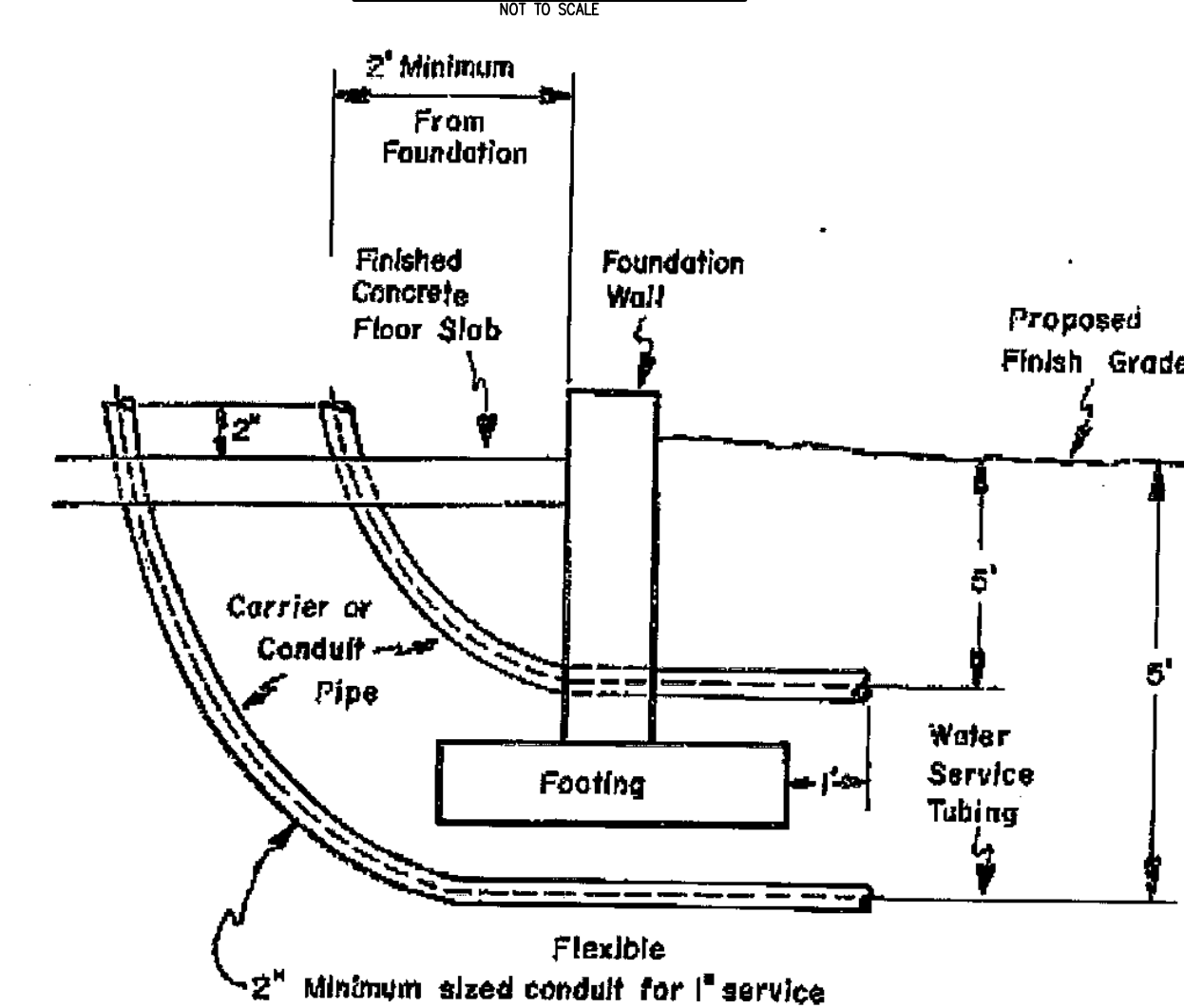
TYPICAL WATER TRENCH SECTION
NOT TO SCALE



GENERAL NOTES

- Fittings and valves shall be manufactured by Ford or approved equal. Corporations: Ford FB1000 c.c. threaded by compression. Curb Stops: B44 series full port (comp. x comp.)
- All compression fittings used on polyethylene tubing shall be installed with solid, tubular stainless steel insert stiffeners.
- Sand shall be used for backfilling from a point 6 inches below the pipe to a point 12 inches above the pipe. The remaining backfill shall have no stones greater than 3 inches in their largest dimension. Before any excavation is done and any pipe is installed, permits shall be obtained from the Management Service office at 20 East Worcester St. and the Water Engineering office at 18 East Worcester St. All paving shall conform to City of Worcester D.P.W. standards.
- Services shall be flushed before activating to avoid meter clogging.
- Main valves are to be operated by the City only. Costs incurred in shutting down mains due to negligence of the Contractor as determined by the Field Inspector shall be paid by the Contractor. The Contractor shall inform the owner and the City wire inspector of proper grounding requirements pursuant to M.G.L. Chapter 165, Section 1C.
- On new services, in accordance with the Mass. Department of Environmental Protection Code 5 and its amendments, the water service shall be a minimum of 10 horizontal feet from the sewer service.
- The Contractor shall furnish and completely install the service from corporation to the meter valves with new materials.
- Upon installation of the service box, the Contractor shall operate the stop to the satisfaction of the Field Inspector prior to acceptance of the job.

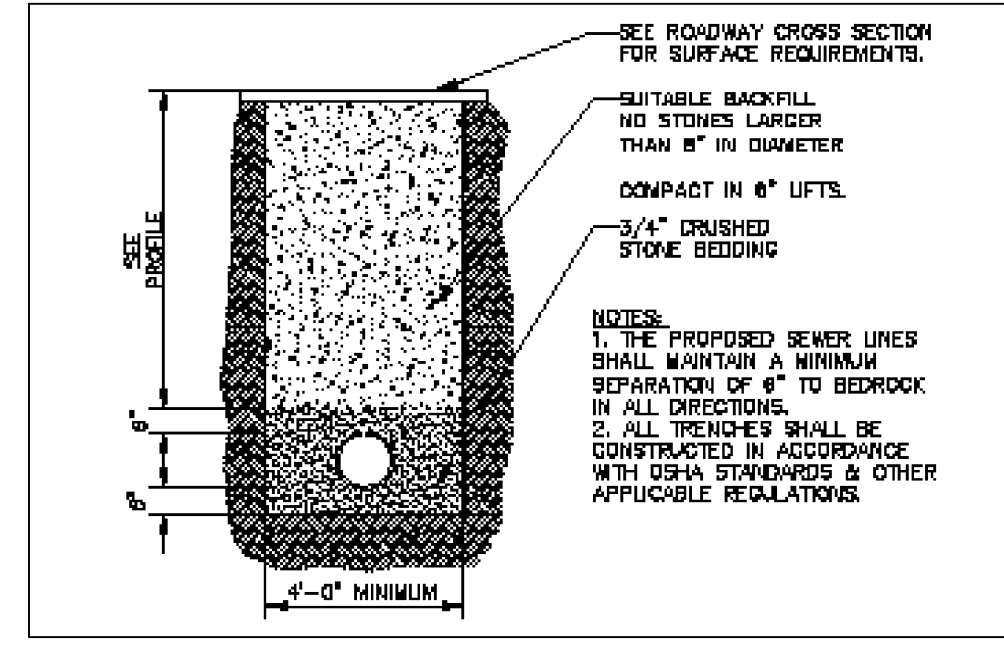
WATER SERVICE DETAIL
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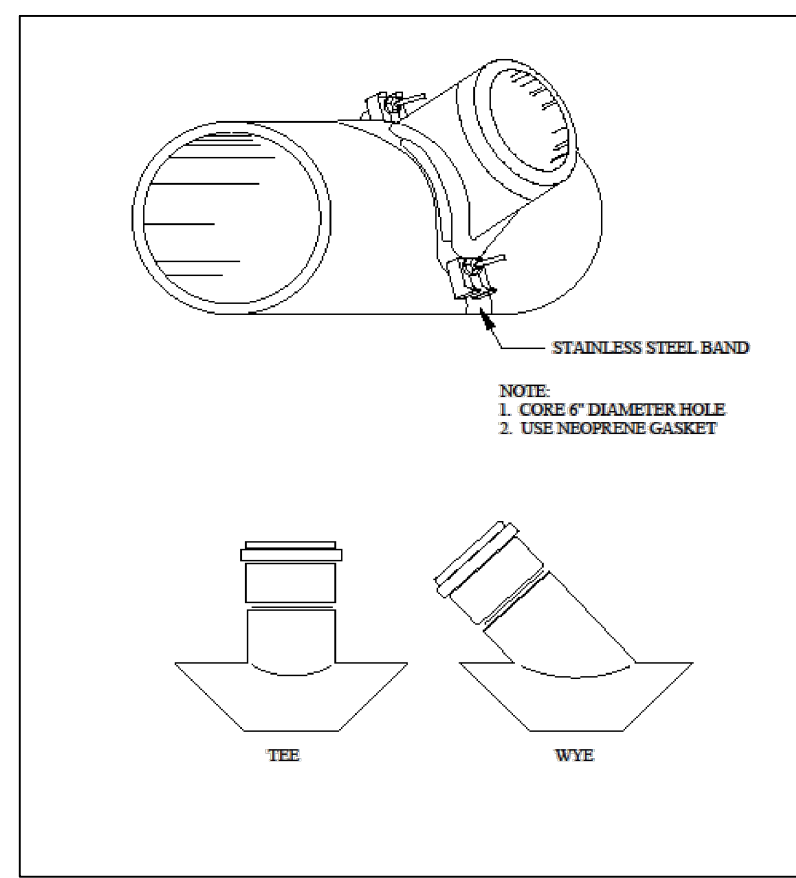
GENERAL NOTES

- When any water service 1-inch or less in size is to be installed under a concrete floor slab, the pipe shall be installed inside an approved conduit. This conduit shall be used as a sleeve or carrier pipe to receive the proposed water service tubing.
- The size of the conduit shall be at least twice the diameter of the water service pipe being installed.
- The conduit shall be installed as shown in drawing W-6D which is part of these specifications.

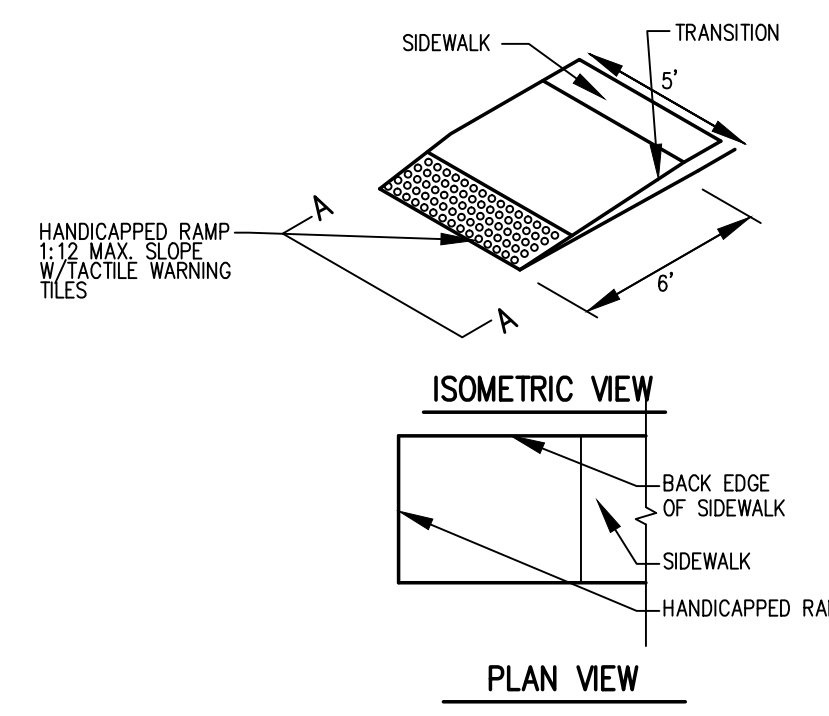
WATER SERVICE ENTRANCE
NOT TO SCALE



SEWER TRENCH DETAIL
NOT TO SCALE

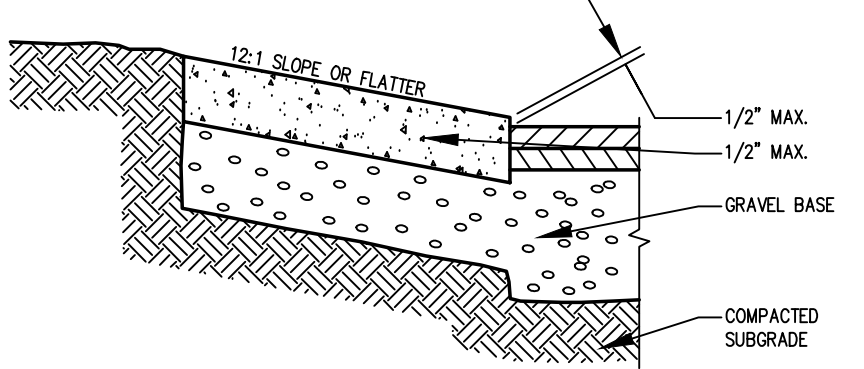


SEWER TEE & WYE CONNECTION
NOT TO SCALE

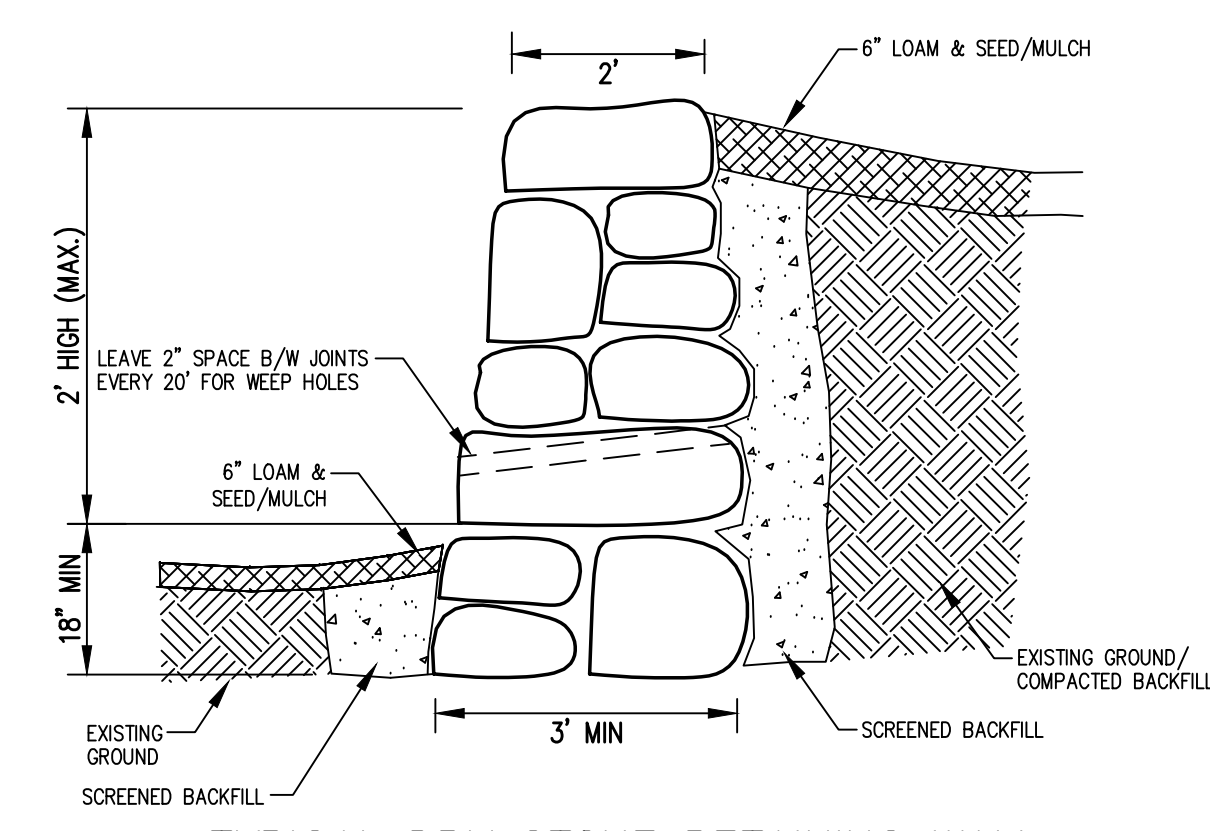


ISOMETRIC VIEW

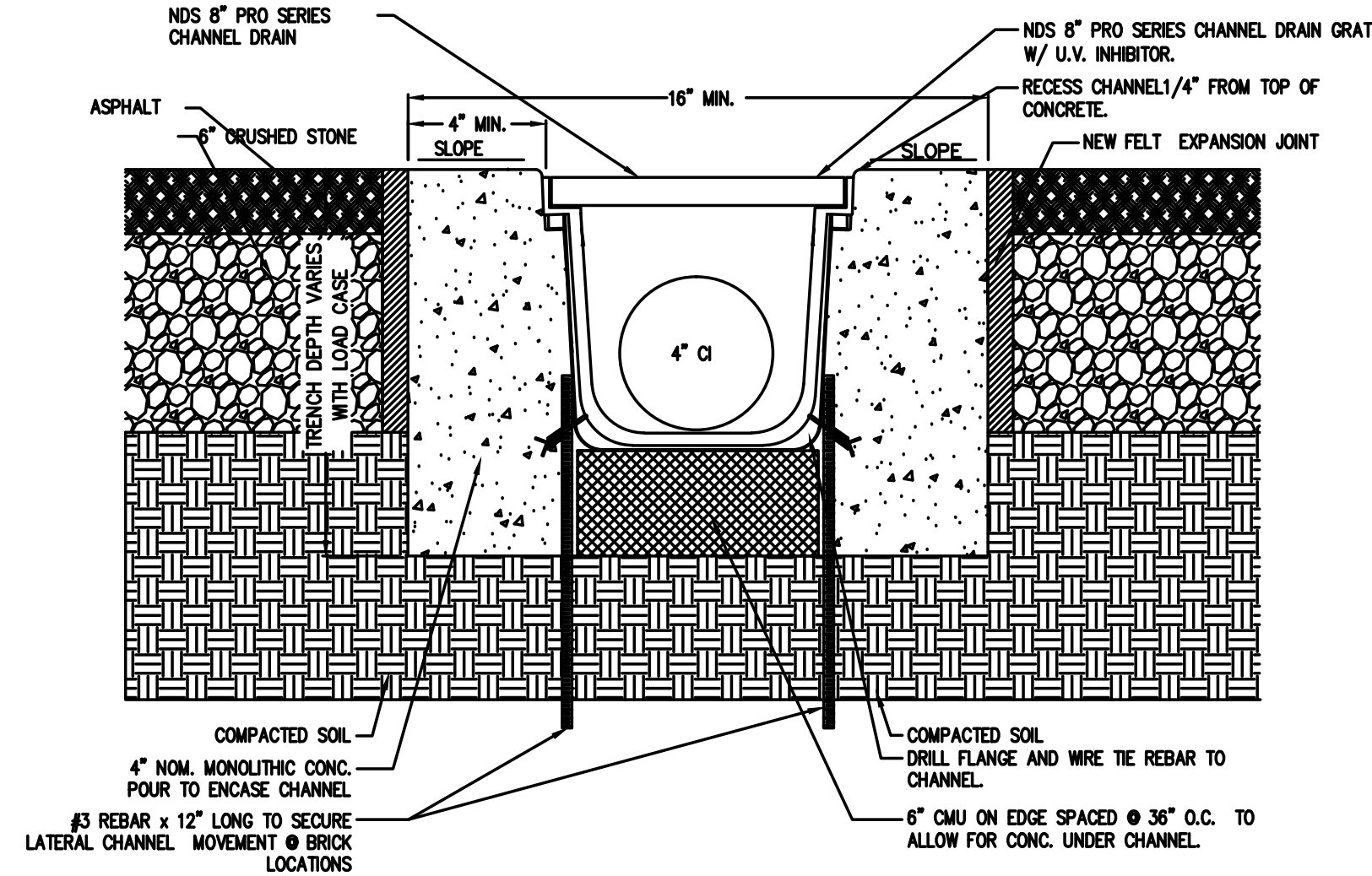
PLAN VIEW



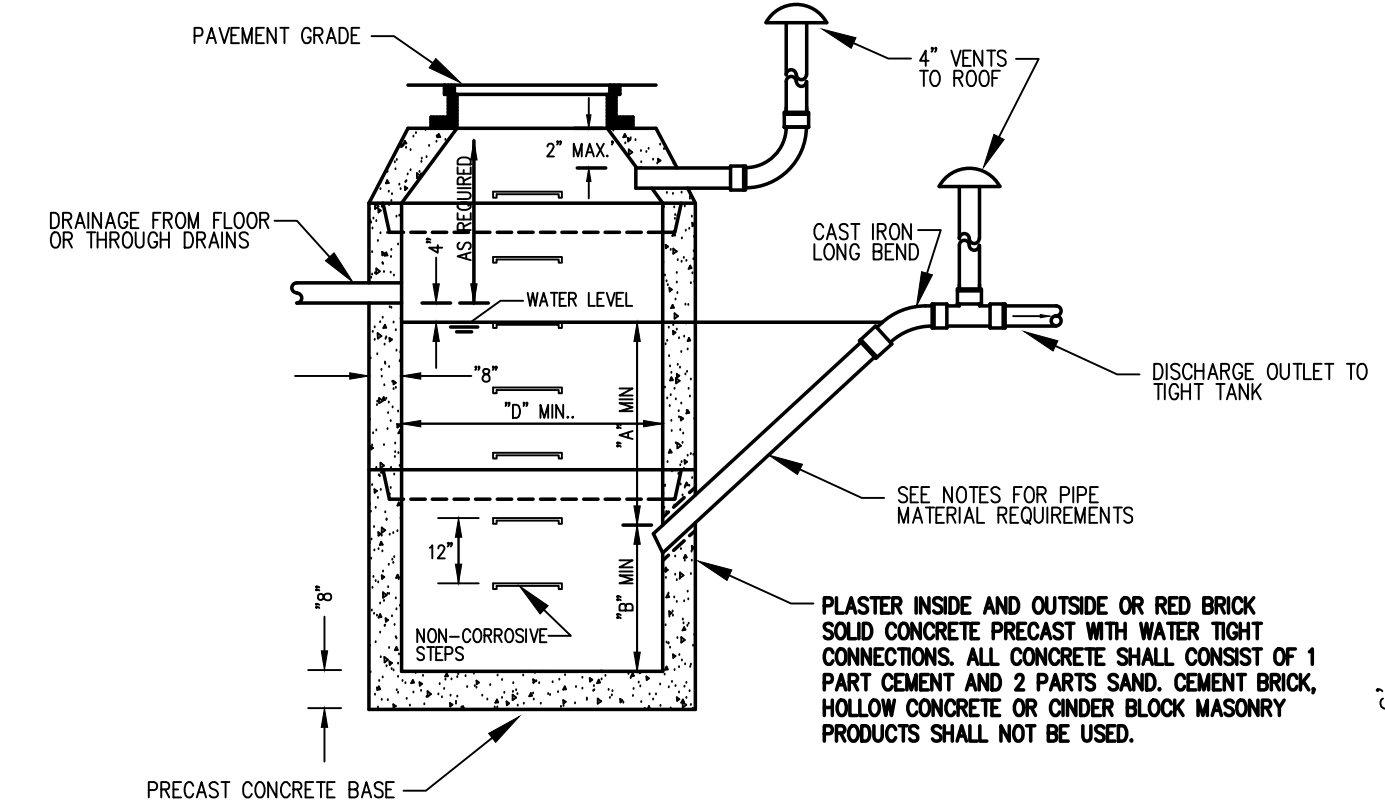
HANDICAP RAMP
NOT TO SCALE



TYPICAL DRY STONE RETAINING WALL
NOT TO SCALE



FLOOR DRAIN CROSS-SECTION
NOT TO SCALE



GAS OIL & WATER SEPARATOR
NOT TO SCALE

PIPE MATERIAL NOTES:

- NO-HUB CAST IRON WITH PRODUCT-APPROVED STAINLESS STEEL CLAMPS.
- SERVICE WEIGHT CAST IRON WITH PRODUCT-APPROVED RESILIENT GASKETS OR LEAD AND OAKUM JOINTS.
- EXTRA HEAVY CAST IRON WITH PRODUCT APPROVED RESILIENT GASKETS OR LEAD AND OAKUM JOINTS.

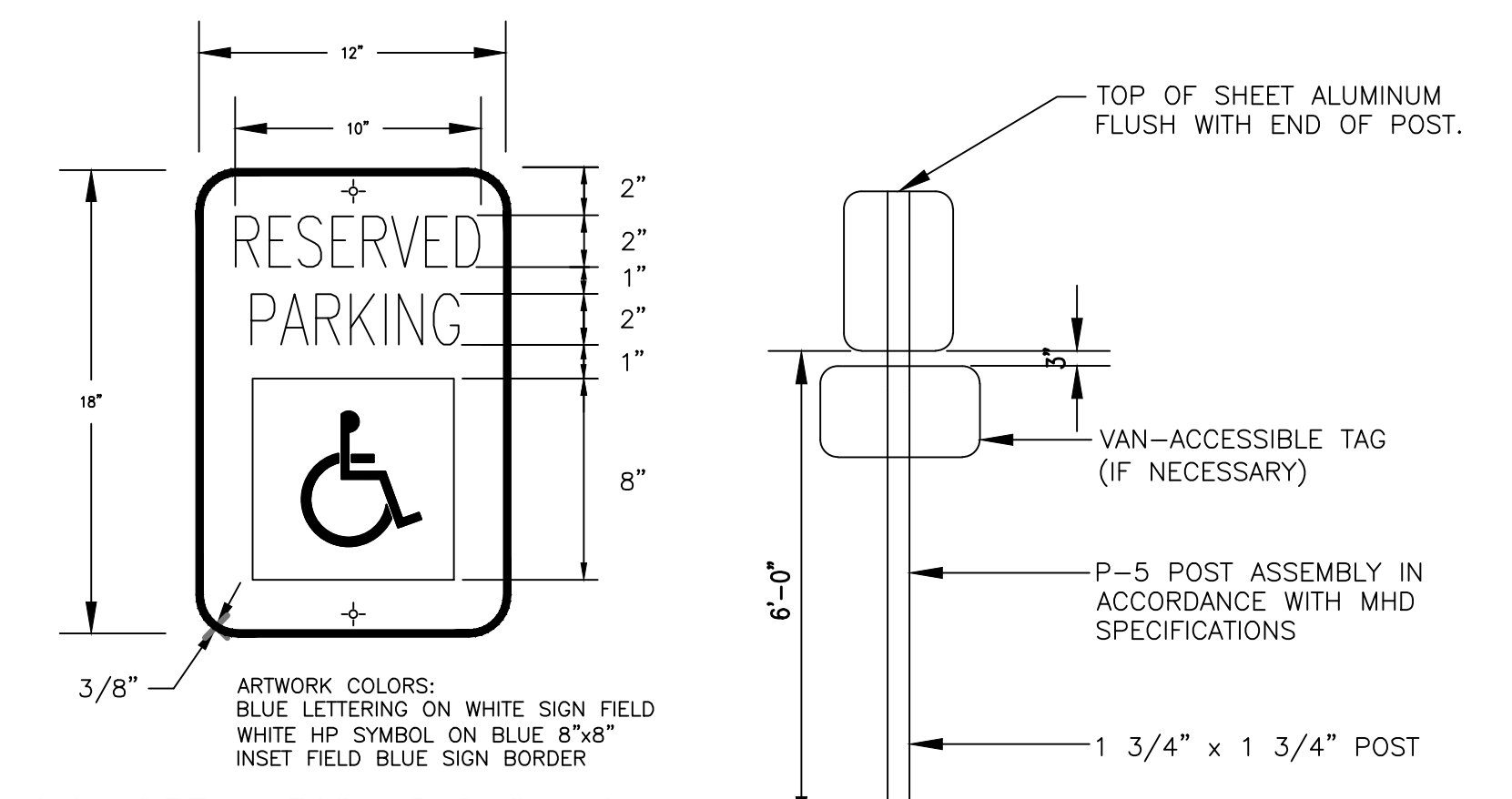
GENERAL CONSTRUCTION NOTES:

- THE SEPARATOR IS TO BE LOCATED OUTSIDE OF A BUILDING WHERE POSSIBLE AND THE COVER TO INCORPORATE A CENTER HOLE. A SEALED TIGHT COVER IS TO BE USED IF THE SEPARATOR IS LOCATED INSIDE OF A BUILDING. THE COVER SHALL BE NO LESS THAN A 24" DIAMETER. THE SEPARATOR SHALL BE LOCATED AND CONSTRUCTED TO PREVENT SURFACE OR SUB-SURFACE WATER FROM ENTERING. THE INLET PIPE SHALL BE NO LESS THAN FOUR INCHES ABOVE THE WATER LINE LEVEL. WHEN THE SEPARATOR IS SUBJECT TO FREEZING IT SHALL BE SET A MINIMUM OF THREE FEET BELOW GRADE. THE NON-CORROSIVE STEPS SHALL BE PLACED AT 18" APART. THE CHAMBER VENT AND OUTLET VENT SHALL RETURN TO THE INSIDE OF THE BUILDING AND EXTEND THROUGH THE ROOF.
- IN OPEN PARKING GARAGES OR OPEN PARKING AREAS ONLY THE INLET PIPE MAY EXTEND BELOW THE WATER LINE A MAXIMUM DISTANCE OF 6'.
- CIRCULAR BASINS ARE RECOMMENDED.

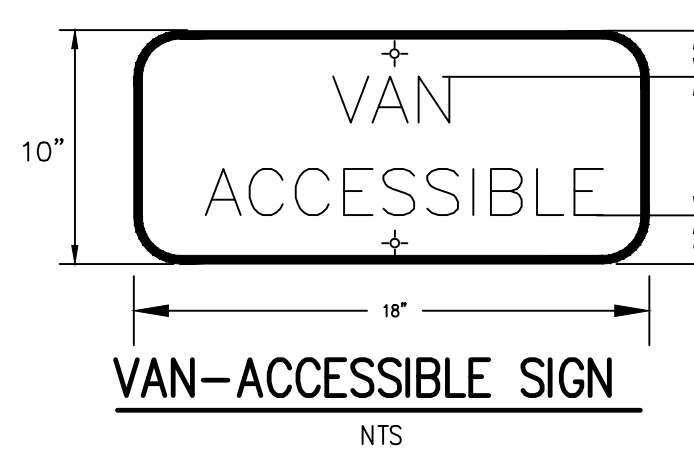
SIZING TABLE

INLET	D	A	B
4"	3'-6"	3'-0"	2'-6"
5"	3'-6"	5'-0"	4'-0"
	3'-6"x3'-6"	4'-0"	3'-0"
	4'-0"	3'-6"	3'-0"
	3'-6"x3'-6"	3'-0"	2'-6"
	4'-6"	3'-0"	2'-6"
6"	4'-0"	5'-0"	4'-6"
	4'-0"x4'-0"	4'-0"	3'-6"
	4'-6"	4'-0"	3'-6"
	4'-6"x4'-6"	3'-6"	3'-0"
	5'-0"	3'-6"	3'-0"
	5'-0"x5'-0"	3'-0"	2'-6"
8"	5'-0"	6'-0"	5'-0"
	5'-6"x5'-6"	4'-6"	4'-0"
	6'-0"	4'-0"	3'-6"
	6'-0"x6'-0"	3'-0"	2'-6"
	6'-6"	3'-6"	3'-0"
	6'-6"x6'-6"	3'-0"	2'-6"

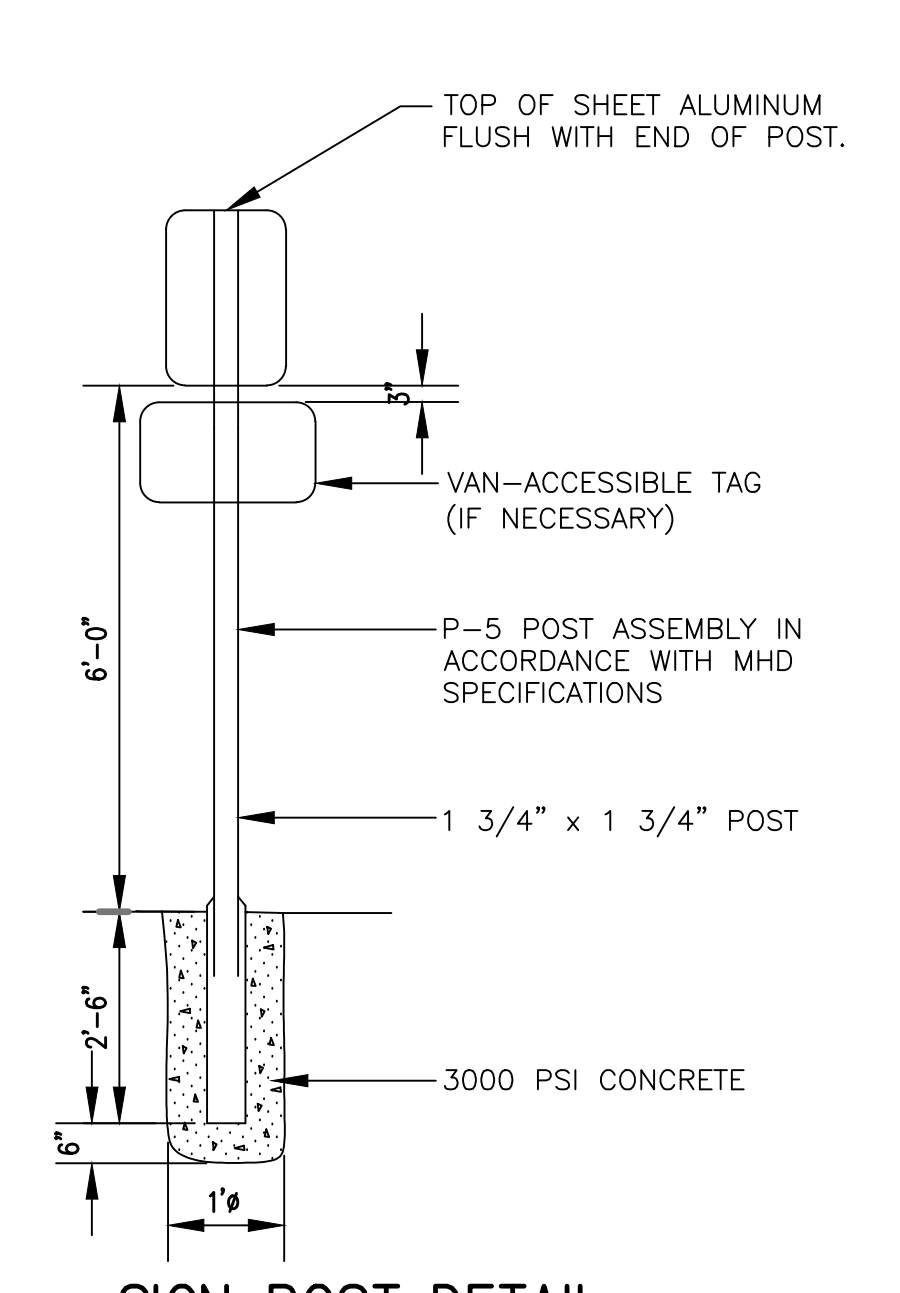
DRAINAGE FROM FLOOR OR THROUGH DRAINS



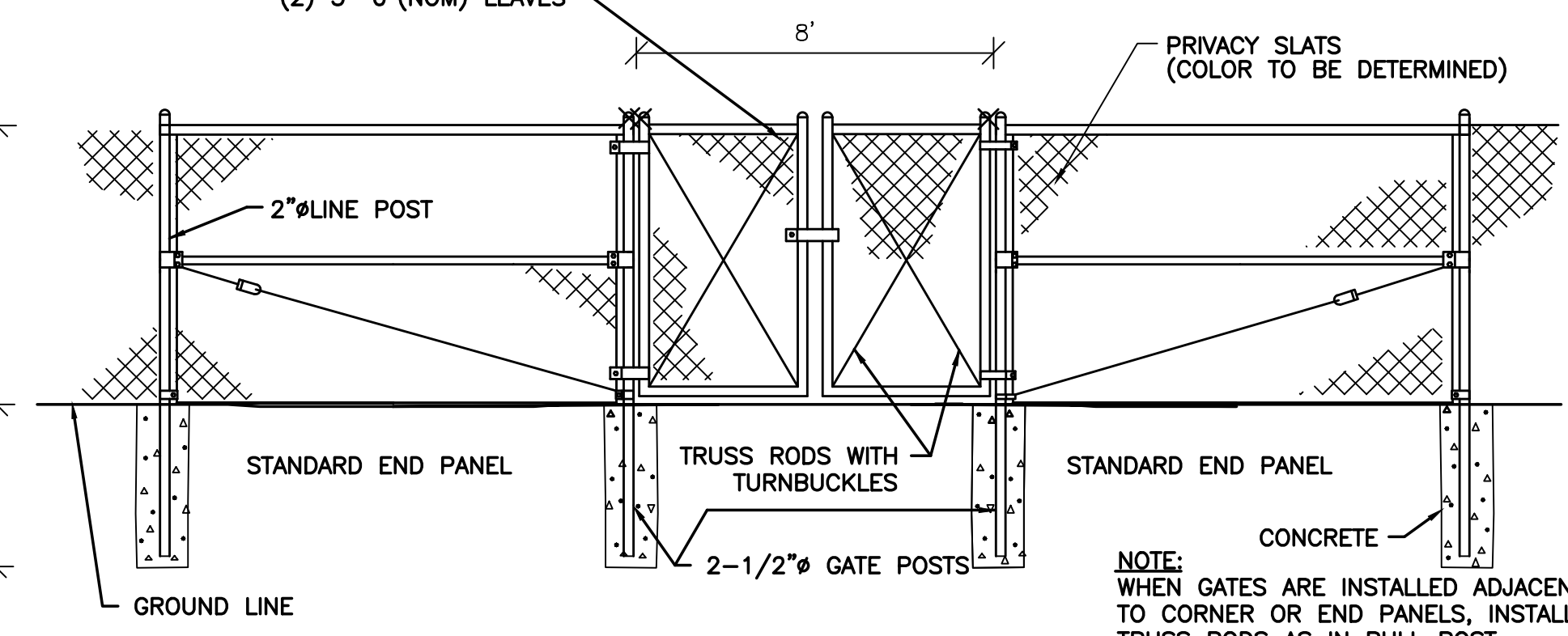
SIGN DETAIL FOR HP PARKING
NTS



VAN-ACCESSIBLE SIGN
NTS



SIGN POST DETAIL
NTS



DUMPSTER FENCE DETAIL
NOT TO SCALE

NOTE: WHEN GATES ARE INSTALLED ADJACENT TO CORNER OR END PANELS, INSTALL TRUSS RODS AS IN PULL POST ASSEMBLIES.

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TELE NO.: (508) 845-2500 jmgrenier@townisp.com
SCALE: AS SHOWN DATE: NOVEMBER 27, 2023

DETAIL PLAN 2/2

SHEET NO.: SHEET 9 OF 9 **PROJECT NO.:** G-679



2/8/24